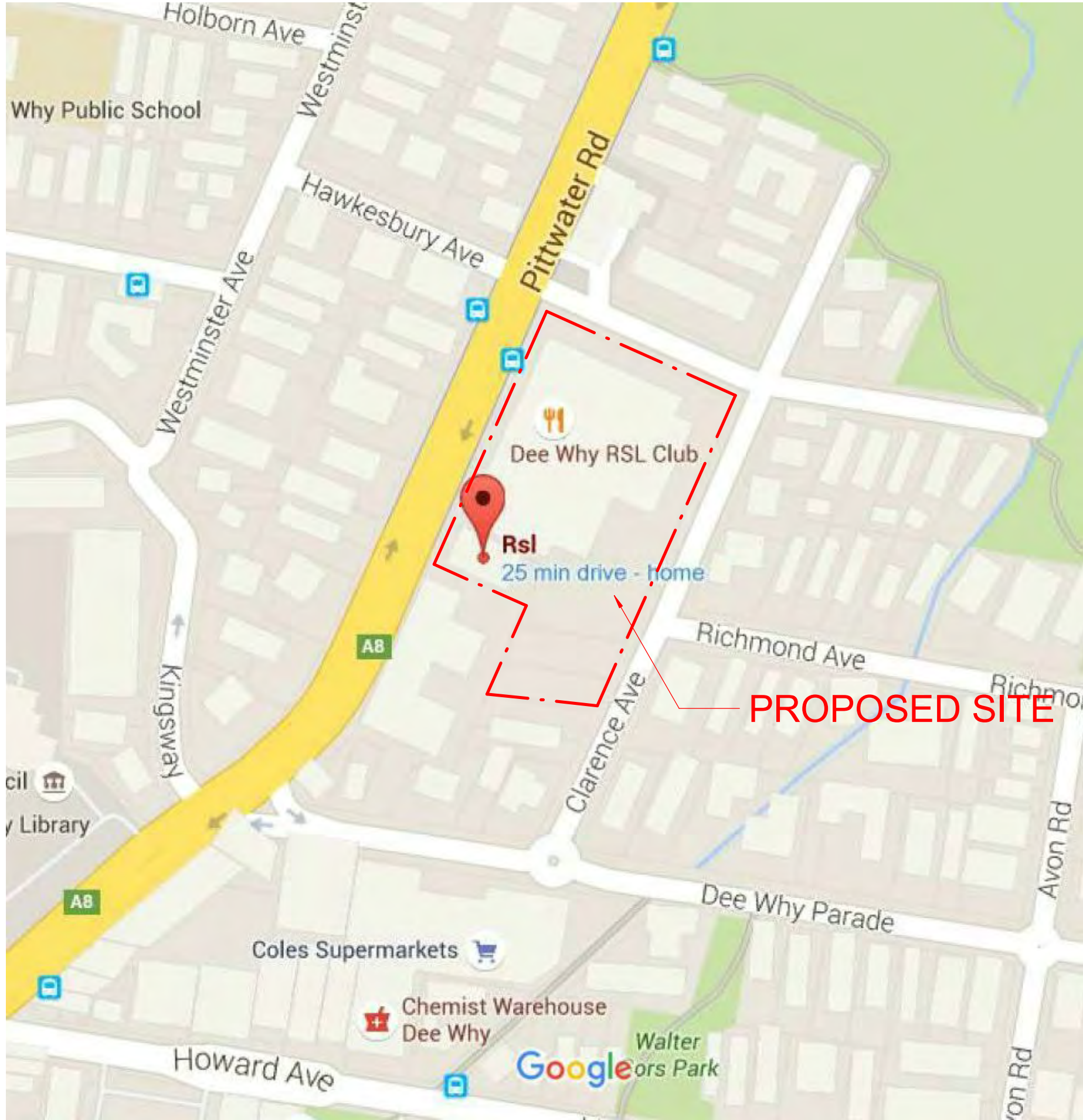


| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 05.03.2018 | ISSUED FOR SECTION 96              |

SECTION 96 SUBMISSION

DEE WHY RSL CLUB - 932 PITTWATER ROAD  
STAGE 5 CLUB EXTENSION



LOCATION MAP

| DEVELOPMENT APPLICATION DRAWING LIST |                                                             |                  |
|--------------------------------------|-------------------------------------------------------------|------------------|
| Sheet Number                         | Sheet Name                                                  | Current Revision |
| DA-0000                              | COVER SHEET                                                 | 2                |
| DA-0001                              | SITE ANALYSIS PLAN                                          | 2                |
| DA-0002                              | PERSPECTIVES                                                | 2                |
| DA-0003                              | SHADOW DIAGRAM - 21 JUNE                                    | 2                |
| DA-0004                              | 3D VIEW - 12 METRES HEIGHT PLANE OVERLAY                    | 2                |
| DA-1000                              | CAR PARK LEVEL 1 (ENTRY LEVEL) EXISTING AND DEMOLITION PLAN | 2                |
| DA-1001                              | CAR PARK LEVEL 2 EXISTING AND DEMOLITION PLAN               | 2                |
| DA-1002                              | CLUB LEVEL 3 AND LEVEL 4 - EXISTING AND DEMOLITION PLAN     | 2                |
| DA-1050                              | KEY PLAN - CARPARK LEVEL -1                                 | 2                |
| DA-1051                              | KEY PLAN - CARPARK LEVEL 1                                  | 2                |
| DA-1052                              | KEY PLAN - CAR PARK LEVEL 2                                 | 2                |
| DA-1053                              | KEY PLAN - LEVEL 2                                          | 2                |
| DA-1055                              | KEY PLAN - ROOF                                             | 2                |
| DA-1100                              | CAR PARK LEVEL -4 & LEVEL -5                                | 2                |
| DA-1101                              | CAR PARK LEVEL -3                                           | 2                |
| DA-1102                              | CAR PARK LEVEL -2                                           | 2                |
| DA-1103                              | CAR PARK LEVEL -1                                           | 2                |
| DA-1104                              | CAR PARK LEVEL 1                                            | 2                |
| DA-1105                              | CAR PARK LEVEL 2                                            | 2                |
| DA-1106                              | PROPOSED LEVEL 2 SOUTH EAST LEVEL 3 AND LEVEL 4             | 2                |
| DA-1108                              | PROPOSED ROOF PLAN                                          | 2                |
| DA-2000                              | EXISTING ELEVATIONS                                         | 1                |
| DA-2100                              | PROPOSED ELEVATIONS                                         | 2                |
| DA-3000                              | PROPOSED SECTIONS                                           | 2                |
| DA-5001                              | NOTIFICATION PLAN                                           | 2                |
| DA-5002                              | NOTIFICATION ELEVATIONS                                     | 2                |
| DA-9000                              | FINISHES AND MATERIALS SCHEDULE                             | 2                |

| GROSS FLOOR AREA CALCULATION |                                                        |                                     |                                                     |                                  |                      |
|------------------------------|--------------------------------------------------------|-------------------------------------|-----------------------------------------------------|----------------------------------|----------------------|
| EXISTING GFA                 | PROPOSED GFA APPROVED UNDER DA APPLICATION DA2017/0244 | PROPOSED GFA SECTION 96 APPLICATION | TOTAL GFA APPROVED UNDER DA APPLICATION DA2017/0244 | TOTAL GFA SECTION 96 APPLICATION | APPROVED MASTER PLAN |
| 12,622                       | 2,722                                                  | 2,586                               | 15,344                                              | 15,208                           | 18,438               |

CLIENT:

DEE WHY RSL CLUB

PROJECT:

STAGE 5 - CLUB EXTENSION  
PHASE 2 WORKS - SOUTHERN  
CARPARK & ENCLOSURE

ARCHITECT:

ALTIS

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DRAWING TITLE:

COVER SHEET

NOTES:

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SCALE:

1 : 100 @ B1

DATE:

MARCH 2018

DRAWN BY:

Author

CHECKED BY:

DOC

PROJECT NO:

2341.06

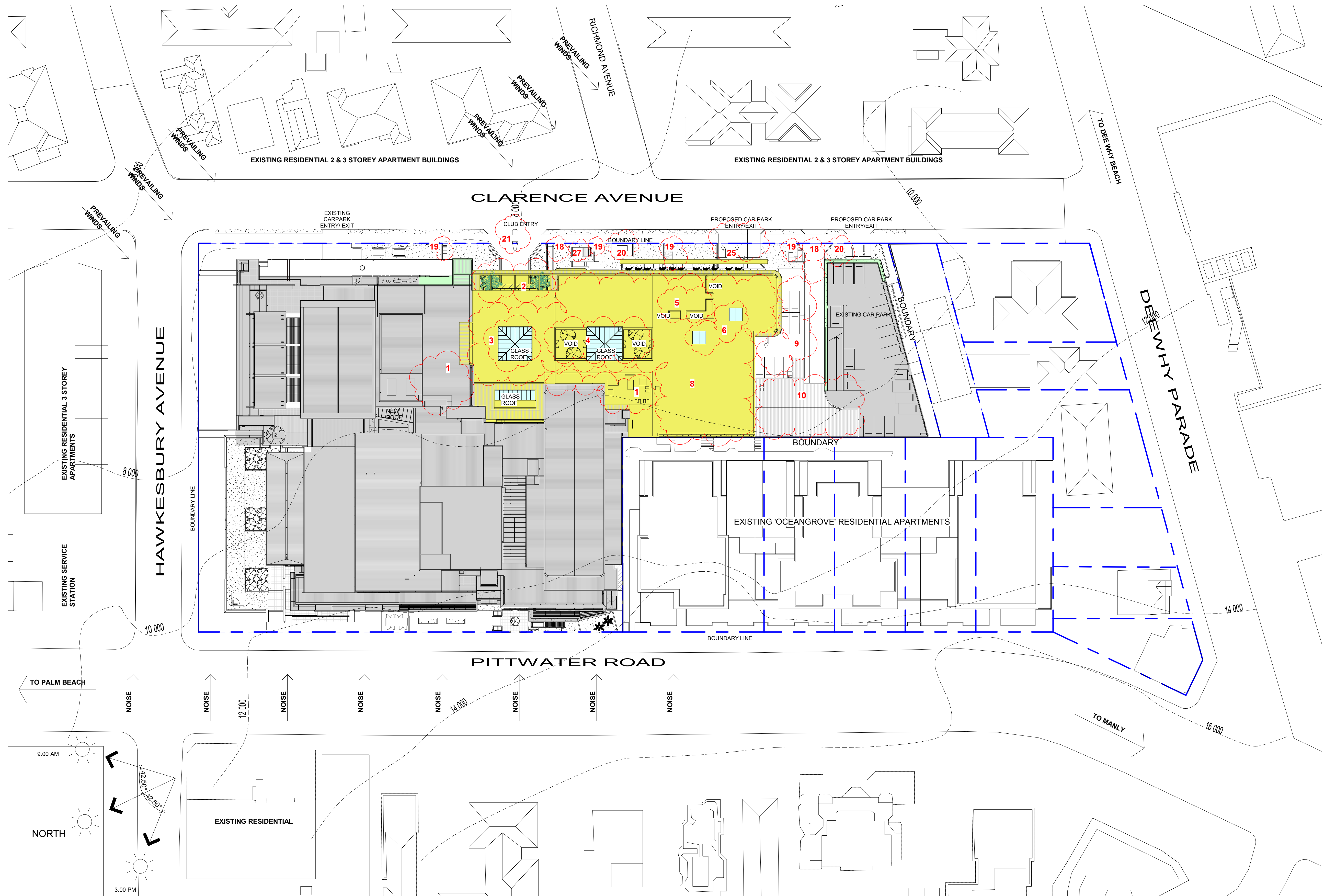
DRAWING NO:

DA-0000

ISSUE:

2

CAD FILE:



| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 05.03.2018 | ISSUED FOR SECTION 96              |

CHANGES FOR SECTION 96 APPROVAL

- roof
1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL
  2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
  3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
  4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF. REDUCED HEIGHT AND PITCH
  5. MODIFIED SMOKING TERRACE: ROOF OPENING, SIZE AND PLANTED AREA. AREA REDUCED BY 21m<sup>2</sup>
  6. REDUCED NUMBER OF ROOF SKYLIGHTS ABOVE ASIAN RESTAURANT. 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT
  7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION, METAL ROOF NO LONGER REQUIRED
  8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION
  9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA
  10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK
- facade
11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS
  12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS
  13. 2m WIDE INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m WIDE EXTERNAL STAIRS WITH DECORATIVE BALUSTRADES
  14. EXTENT OF LEVEL 2 (MAIN TRADING LEVEL) REDUCED BY 8328mm FROM THE SOUTHERN BOUNDARY AND INCREASED BY 1100mm TO THE EASTERN BOUNDARY
  15. MODIFIED FACADE CURTAIN WALL MULLION BLADES
  16. CONCRETE BLADE WALL REDUCED BY 1.47m IN HEIGHT AND 6.2m IN LENGTH
  17. VERTICAL FINS REMOVED FROM BACK WALL (WESTERN FACADE)

- ground/landscape/floor plate
18. REVISED LOADING DOCK ENTRANCE AND LOCATION ENLARGED DEMOLISHED AREA IN THE EXISTING RETAINED SOUTHERN CAR PARK
  19. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1. NEW CARPARK LEVEL 1.
  20. RELOCATED ELECTRICAL SUBSTATION / LANDSCAPED AREA MOVED TO SUIT
  21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY/EXIT IS LESS THAN 8M AS PER DA CONDITION 23
  22. RELOCATED STORMWATER OVERFLOW PATH
  23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED. BASEMENT REDUCED BY 14394mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL -3.800 TO RL -5.700. OVERALL PARKING SPACES REDUCED FROM 687 TO 680
  24. BASEMENT CAR PARK LEVEL -5 ADDED
  25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm
  26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
  27. LOCATION OF AIR INTAKE MODIFIED
  28. EXTENT OF RESTAURANT REDUCED BY 136m<sup>2</sup>
  29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED
  30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK
  31. SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

- NEW CLUB AND CAR PARK
- ALTERATIONS TO EXISTING CLUB AND CAR PARK
- NO NEW WORKS TO EXISTING CLUB

CLIENT:  
DEE WHY RSL CLUB

PROJECT:  
STAGE 5 - CLUB EXTENSION  
PHASE 2 WORKS - SOUTHERN  
CARPARK & ENCLOSURE

ARCHITECT:  
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DRAWING TITLE:  
SITE ANALYSIS PLAN

NOTES:  
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As indicated @ B1  
DRAWN BY: MC  
CHECKED BY: DOC  
PROJECT NO: 2341.06  
CAD FILE:

DATE: MARCH 2018  
ISSUE: 2  
DRAWING NO: DA-0001

| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 05.03.2018 | ISSUED FOR SECTION 96              |
|       |            |                                    |



EXISTING VIEW - CLUB ENTRY AT CLARENCE AVENUE



### PROPOSED VIEW - CLUB ENTRY AT CLARENCE AVENUE



EXISTING VIEW - SOUTHEAST CORNER AT CLARENCE AVENUE



PROPOSED VIEW - SOUTHEAST CORNER AT CLARENCE AVENUE

CLIENT: DEE WHY RSL CLUB

PROJECT:

**STAGE 5 - CLUB EXTENSION**

**PHASE 2 WORKS - SOUTHERN**

**CARPAK & ENCLOSURE**

ARCHITECT:

**ALTIS**  
architecture

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DRAWING TITLE:

PERSPECTIVES

NOTES:

Nominated architect: Rolfe Laximer : 5535

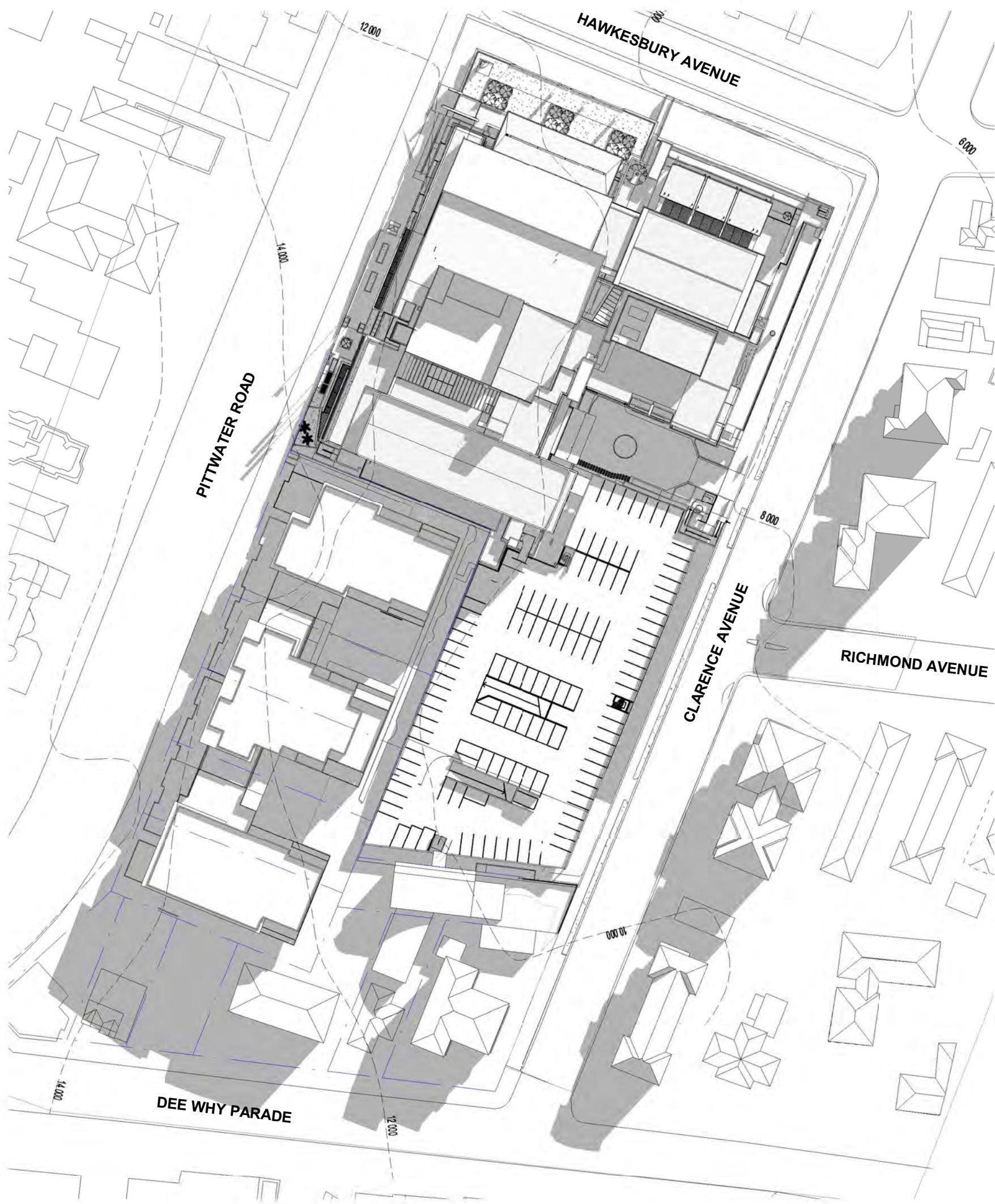
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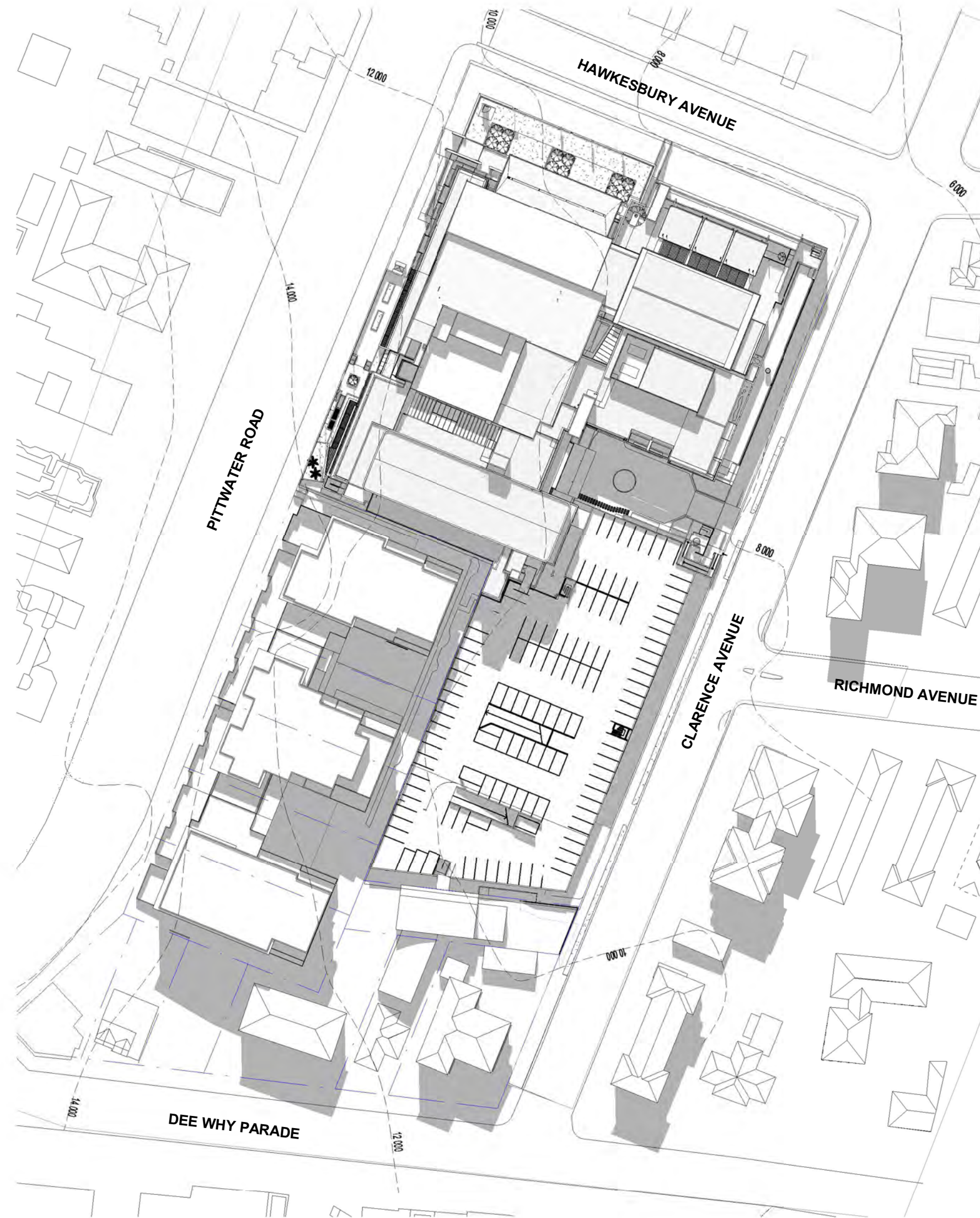
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| SCALE:<br><br>@ B1 |                    |                        | DATE:<br>MARCH 2018    |             |
| DRAWN BY:<br>MC    | CHECKED BY:<br>DOC | PROJECT NO:<br>2341.06 | DRAWING NO:<br>DA-0002 | ISSUE:<br>2 |
| CAD FILE:          |                    |                        |                        |             |



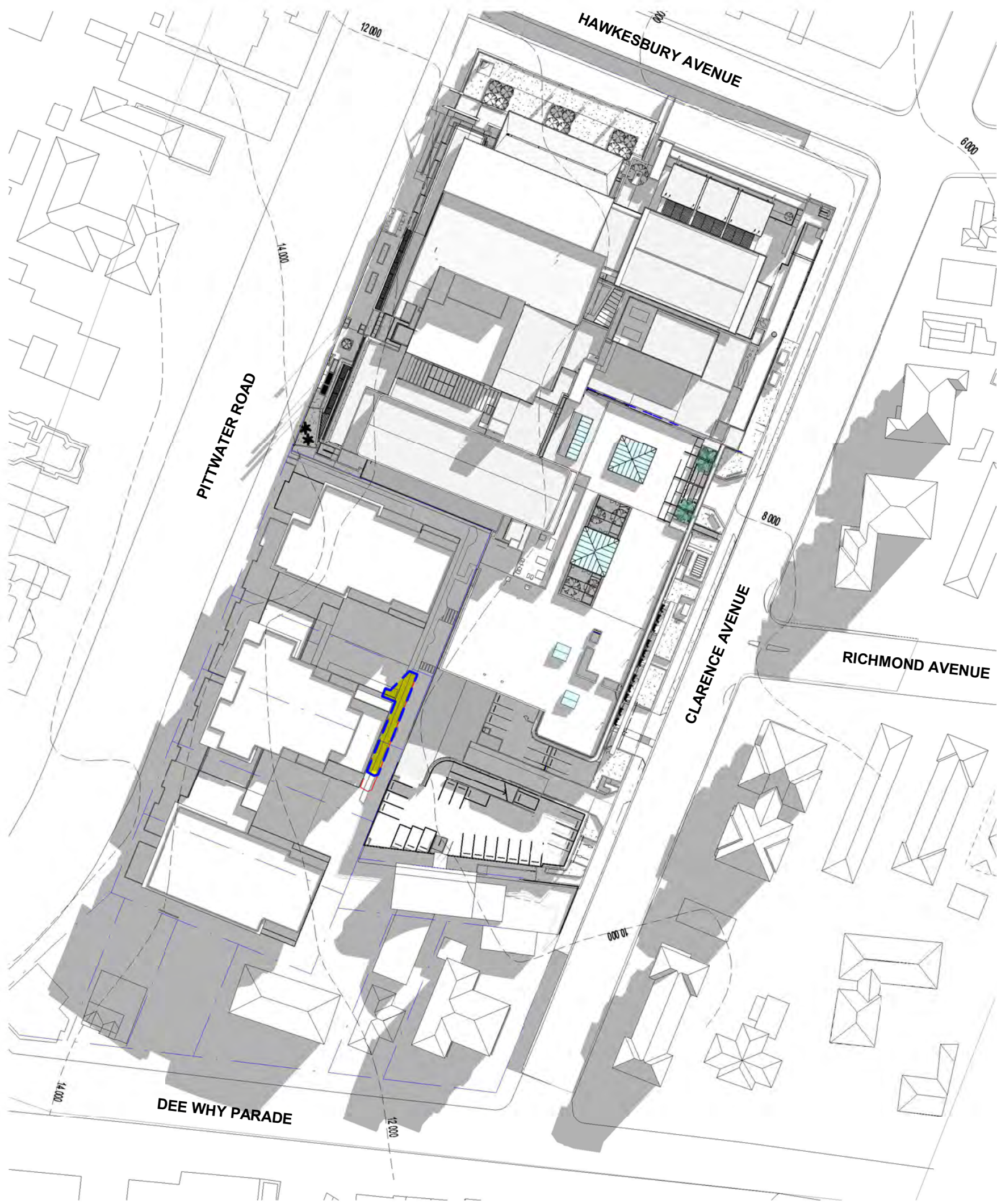
1 5-EX-SHADOW DIAGRAM - 9AM 21JUNE-NE  
Scale: 1 : 1000



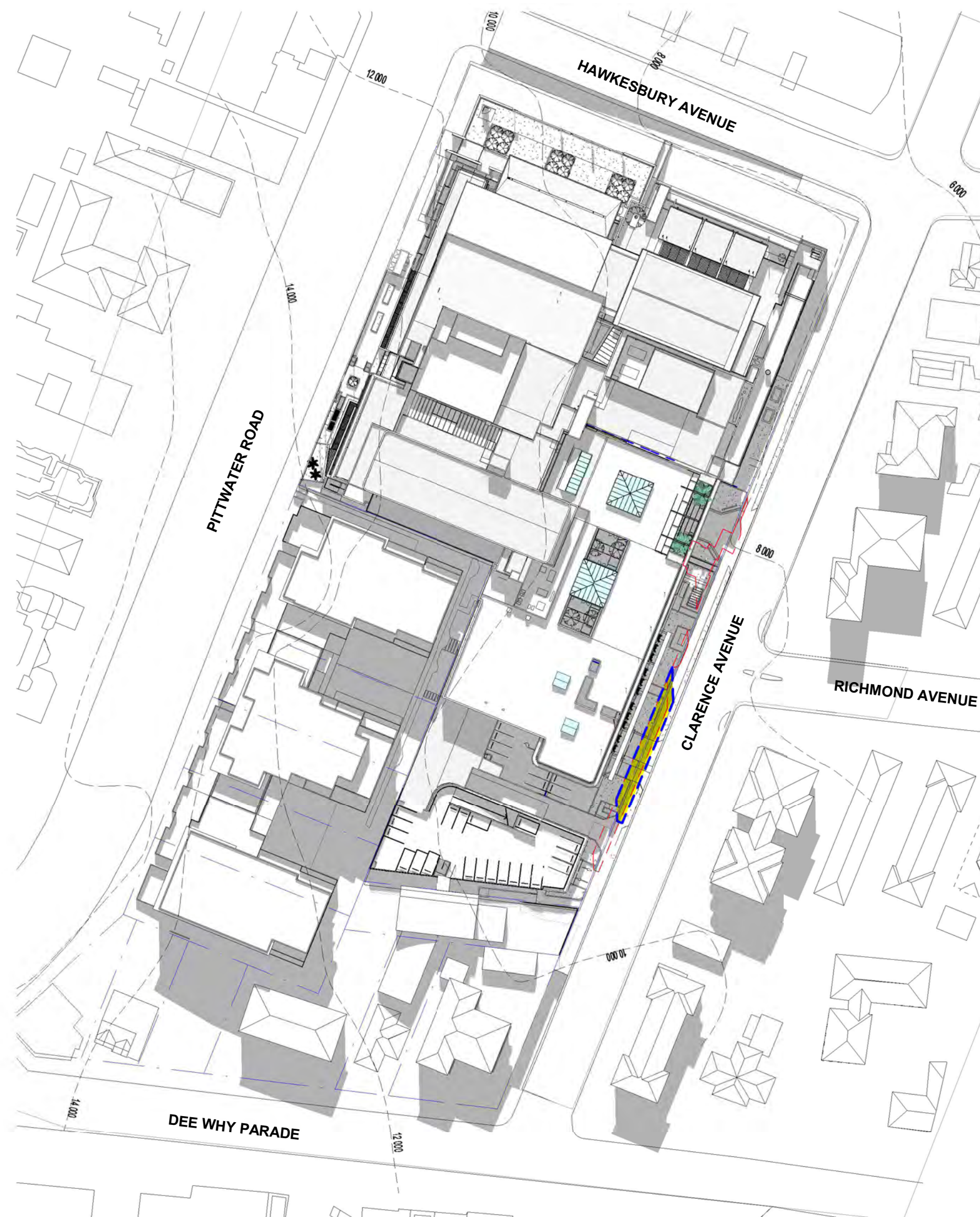
2 5-EX-SHADOW DIAGRAM - 12PM 21JUNE-NE  
Scale: 1 : 1000



3 5-EX-SHADOW DIAGRAM - 3PM 21JUNE-NE  
Scale: 1 : 1000



4 5-DA-SHADOW DIAGRAM - 9AM 21JUNE  
Scale: 1 : 1000



5 5-DA-SHADOW DIAGRAM - 12PM 21JUNE  
Scale: 1 : 1000



6 5-DA-SHADOW DIAGRAM - 3PM 21JUNE  
Scale: 1 : 1000

| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 02.03.2018 | PRELIMINARY SECTION 96             |

- SHADOW CAST BASED ON SECTION 96 MODIFICATIONS, REDUCED IMPACT
- SHADOW CAST ONTO SURROUNDING BY PROPOSED DEVELOPMENT AS PER ORIGINAL DA 2017/0244

CLIENT:  
DEE WHY RSL CLUB

PROJECT:  
STAGE 5 - CLUB EXTENSION  
PHASE 2 WORKS - SOUTHERN  
CARPARK & ENCLOSURE

ARCHITECT:  
**ALTIS**  
architecture  
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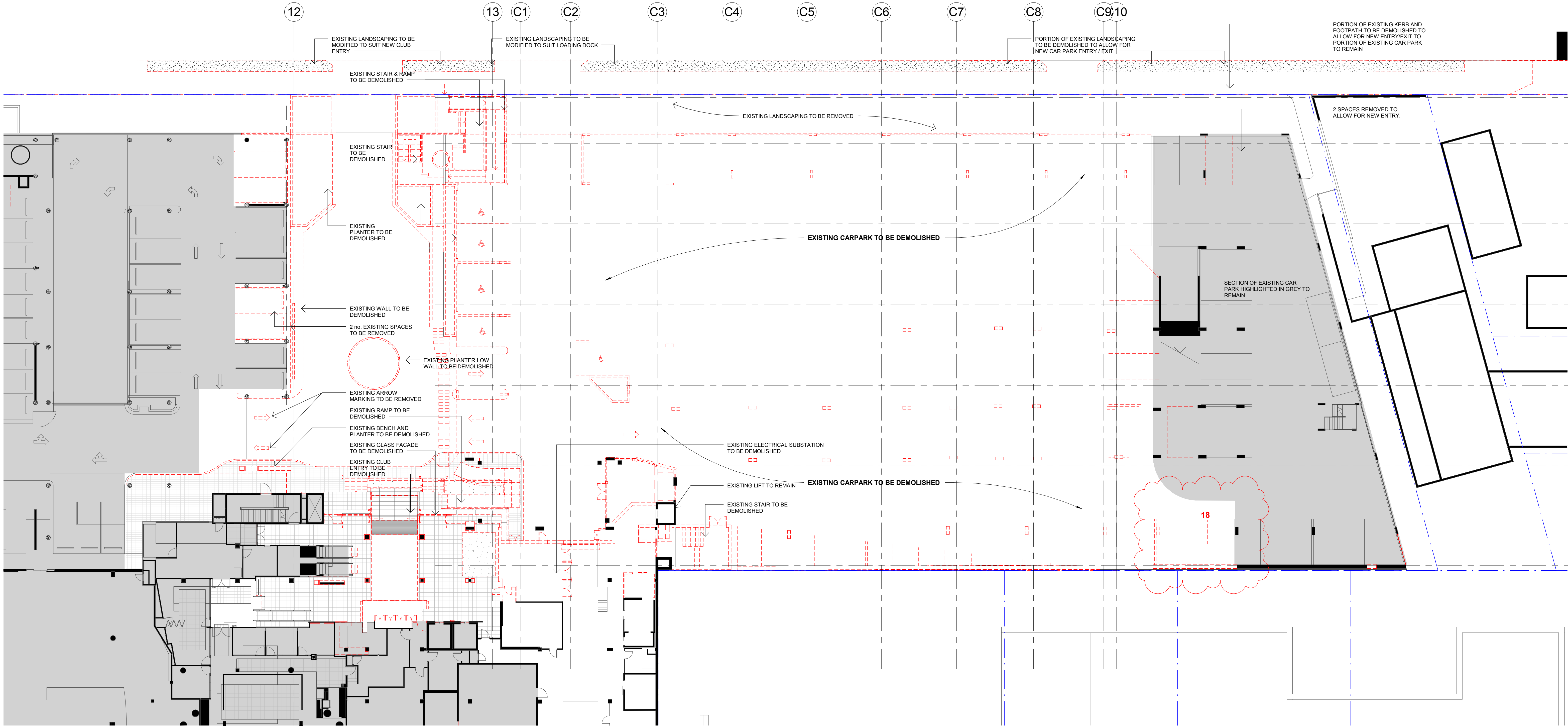
DRAWING TITLE:  
SHADOW DIAGRAM - 21 JUNE

NOTES:  
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| SCALE:<br>As indicated @ B1 | DATE:<br>MARCH 2018    |
| DRAWN BY:<br>MC             | CHECKED BY:<br>DOC     |
| PROJECT NO:<br>2341.06      | DRAWING NO:<br>DA-0003 |
| CAD FILE:                   | ISSUE:<br>2            |

## SECTION 96

10/3/2018 5:15:55 PM



| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 05.03.2018 | ISSUED FOR SECTION 96              |

#### CHANGES FOR SECTION 96 APPROVAL

1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL
2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF. REDUCED HEIGHT AND PITCH
5. MODIFIED SMOKING TERRACE: ROOF OPENING, SIZE AND PLANTED AREA. AREA REDUCED BY 21m<sup>2</sup>
6. REDUCED NUMBER OF ROOF SKYLIGHTS ABOVE ASIAN RESTAURANT: 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT
7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION, METAL ROOF NO LONGER REQUIRED
8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION
9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA
10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK
11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS
12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS
13. 2m WIDE INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m WIDE EXTERNAL STAIRS WITH DECORATIVE BALUSTRADES
14. EXTENT OF LEVEL 2 (MAIN TRADING LEVEL) REDUCED BY 8326mm FROM THE SOUTHERN BOUNDARY AND INCREASED BY 1100mm TO THE EASTERN BOUNDARY
15. MODIFIED FACADE CURTAIN WALL MULLION BLADES
16. CONCRETE BLADE WALL REDUCED BY 1.47m IN HEIGHT AND 6.2m IN LENGTH
17. VERTICAL FINS REMOVED FROM BACK WALL (WESTERN FACADE)

- ground/landscape/floor plate
18. REVISED LOADING DOCK ENTRANCE AND LOCATION/ ENLARGED DEMOLISHED AREA IN THE EXISTING RETAINED SOUTHERN CAR PARK
  19. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1, NEW CARPARK LEVEL 1.
  20. RELOCATED ELECTRICAL SUBSTATION / LANDSCAPED AREA MOVED TO SUIT
  21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY/ EXIT IS LESS THAN 8M AS PER DA CONDITION 23
  22. RELOCATED STORMWATER OVERFLOW PATH
  23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED. BASEMENT REDUCED BY 14394mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL - 3.600 TO RL -5.700. OVERALL PARKING SPACES REDUCED FROM 687 TO 680
  24. BASEMENT CAR PARK LEVEL -5 ADDED
  25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm
  26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
  27. LOCATION OF AIR INTAKE MODIFIED
  28. EXTENT OF RESTAURANT REDUCED BY 136m<sup>2</sup>
  29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED
  30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK
  31. SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

- - - DASHED LINE INDICATES EXISTING BUILDING ELEMENTS TO BE DEMOLISHED
- GREY HATCH INDICATES AREA WITH NO DEMOLITION WORKS

CLIENT:

DEE WHY RSL CLUB

PROJECT:

STAGE 5 - CLUB EXTENSION  
PHASE 2 WORKS - SOUTHERN  
CARPARK & ENCLOSURE

ARCHITECT:

**ALTIS**  
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suite 123 / 26 - 32 pirrama road pyrmont nsw 2009 australia

DRAWING TITLE:

CAR PARK LEVEL 1 (ENTRY LEVEL)  
EXISTING AND DEMOLITION PLAN

NOTES:

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SCALE:

1 : 200 @ B1

DRAWN BY: AG CHECKED BY: DOC PROJECT NO: 2341.06

CAD FILE:

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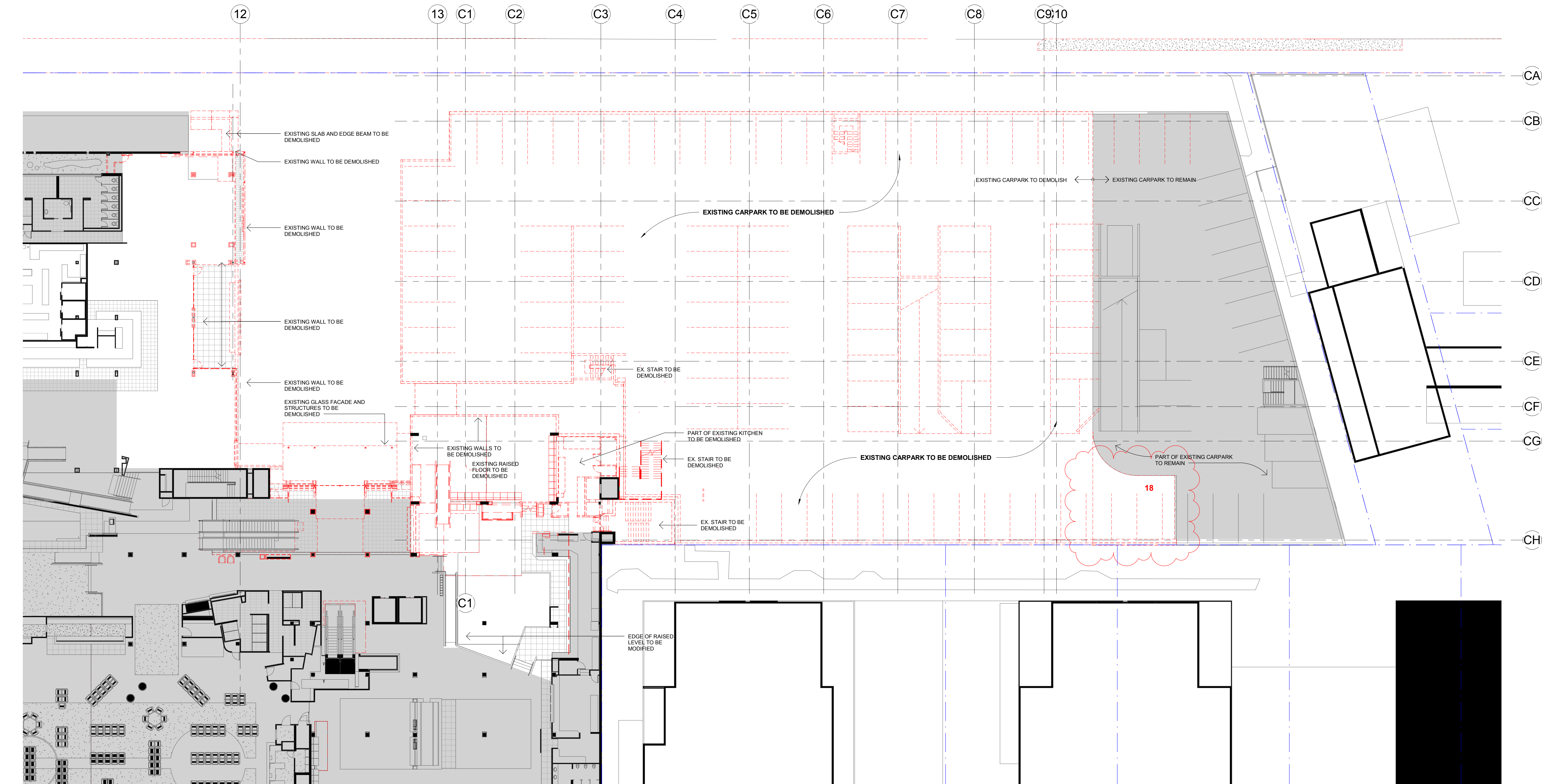
DATE: MARCH 2018

DRAWING NO: DA-1000

ISSUE: 2

SECTION 96

5/3/2018 12:52:10 PM



1 5B-AD-S96-CAR PARK LEVEL 2 EXISTING AND DEMOLITION PLAN  
Scale: 1:200

| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 05.03.2018 | ISSUED FOR SECTION 96              |

CHANGES FOR SECTION 96 APPROVAL

roof

1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL
2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF: REDUCED HEIGHT AND PITCH
5. MODIFIED SMOKING TERRACE: ROOF OPENING, SIZE AND PLANTED AREA. AREA REDUCED BY 21m<sup>2</sup>
6. REDUCED NUMBER OF ROOF SKYLIGHTS ABOVE ASIAN RESTAURANT: 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT
7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION, METAL ROOF NO LONGER REQUIRED
8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION
9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA
10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK

facade

11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS
12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS
13. 2m WIDE INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m WIDE EXTERNAL STAIRS WITH DECORATIVE BALUSTRADES
14. EXTENT OF LEVEL 2 (MAIN TRADING LEVEL) REDUCED BY 8328mm FROM THE SOUTHERN BOUNDARY AND INCREASED BY 1100mm TO THE EASTERN BOUNDARY
15. MODIFIED FACADE CURTAIN WALL MULLION BLADES REDUCED BY 147mm
16. CONCRETE BLADE WALL REDUCED BY 147mm IN HEIGHT AND 6.2m IN LENGTH
17. VERTICAL FINIS REMOVED FROM BACK WALL (WESTERN FACADE)

ground/landscape/floor plate

18. REVISED LOADING DOCK ENTRANCE AND LOCATION/ENLARGED DEMOLISHED AREA IN THE EXISTING RETAINED SOUTHERN CAR PARK
19. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1. NEW CARPARK LEVEL 1.
20. RELOCATED ELECTRICAL SUBSTATION / LANDSCAPED AREA MOVED TO SUIT
21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY/ EXIT IS LESS THAN 8M AS PER DA CONDITION 23
22. RELOCATED STORMWATER OVERFLOW PATH
23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED. BASEMENT REDUCED BY 14394mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL -3.800 TO RL -5.700. OVERALL PARKING SPACES REDUCED FROM 687 TO 680.
24. BASEMENT CAR PARK LEVEL -5 ADDED.
25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm
26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
27. LOCATION OF AIR INTAKE MODIFIED
28. EXTENT OF RESTAURANT REDUCED BY 136m<sup>2</sup>
29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED
30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK
31. SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

--- DASHED LINE INDICATES EXISTING BUILDING ELEMENTS TO BE DEMOLISHED

GREY HATCH INDICATES AREA WITH NO DEMOLITION WORKS

CLIENT:

DEE WHY RSL CLUB

PROJECT:

STAGE 5 - CLUB EXTENSION  
PHASE 2 WORKS - SOUTHERN CARPARK & ENCLOSURE

ARCHITECT:

**ALTIS**  
architecture

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suite 123 / 26 - 32 pirrama road pyrmont nsw 2009 australia

DRAWING TITLE:

CAR PARK LEVEL 2 EXISTING AND DEMOLITION PLAN

NOTES:

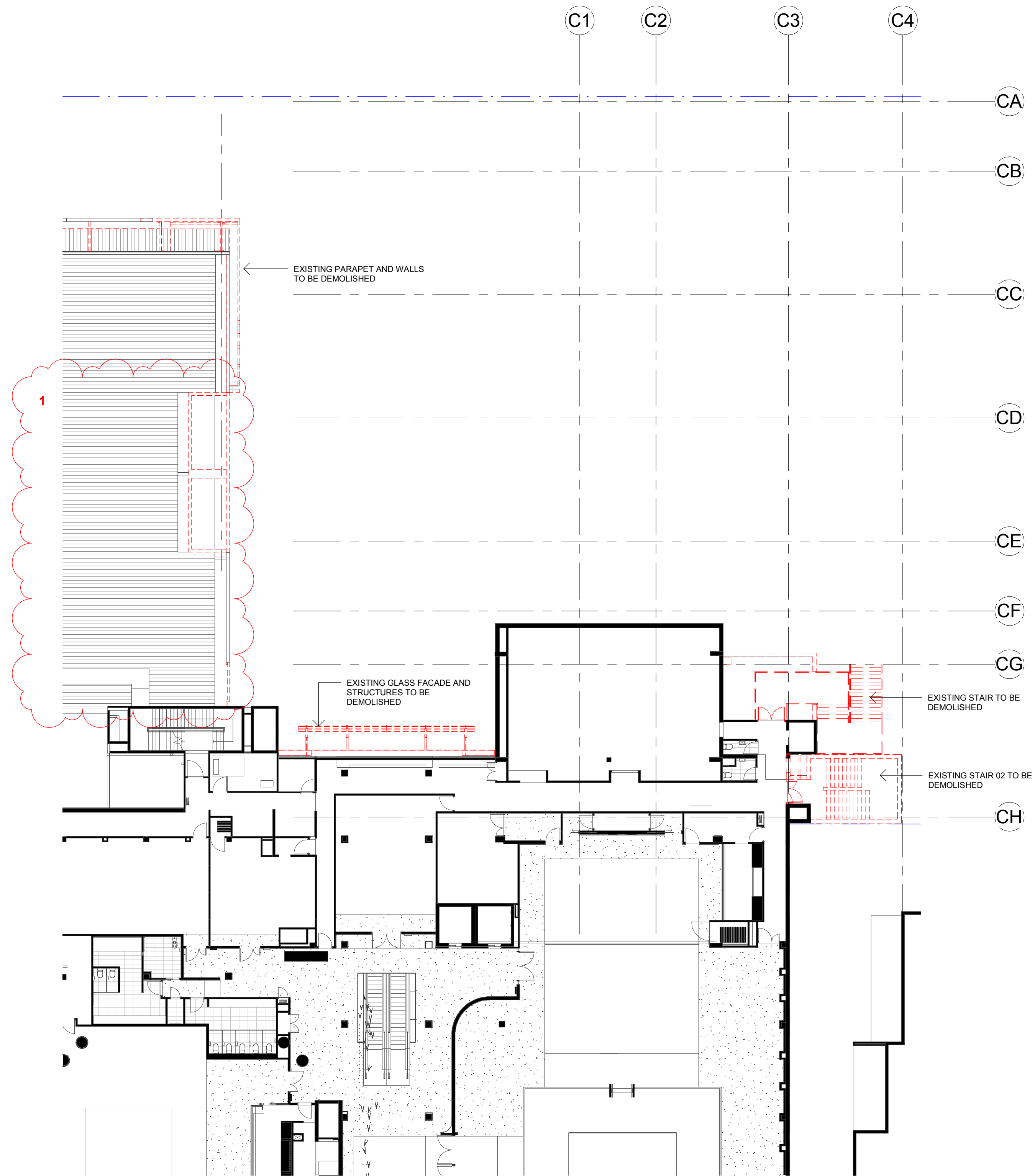
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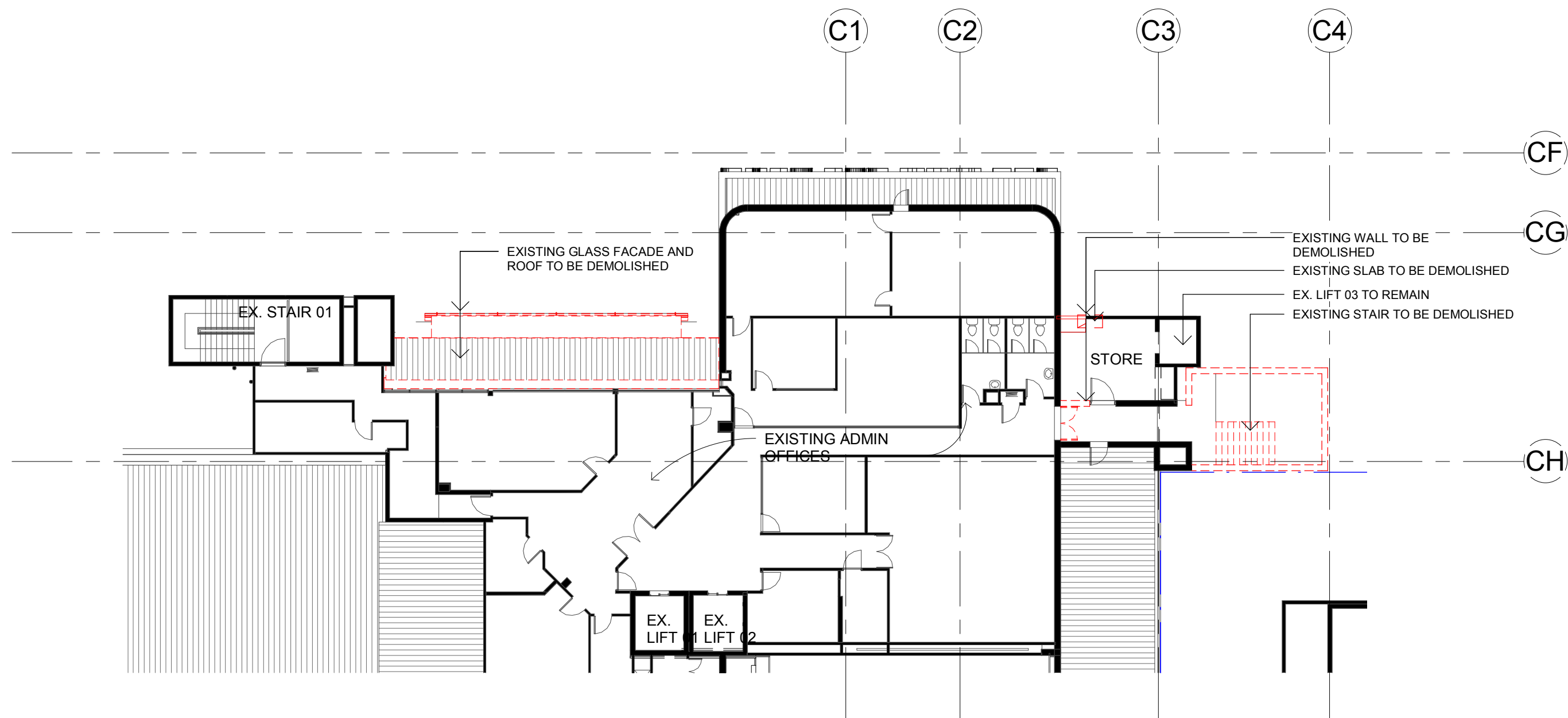
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DRAWN BY: AG CHECKED BY: DOC PROJECT NO: 2341.06 DRAWING NO: DA-1001 ISSUE: 2

5B-AD-S96-15-23-27 PM



1 LEVEL 3 - AUDITORIUM LEVEL  
Scale: 1 : 200



2 LEVEL 4 - ADMIN LEVEL  
Scale: 1 : 200

| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 05.03.2018 | ISSUED FOR SECTION 96              |

- CHANGES FOR SECTION 96 APPROVAL**
- roof
1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL
  2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
  3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
  4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF, REDUCED HEIGHT AND PITCH
  5. MODIFIED SMOKING TERRACE: ROOF OPENING, SIZE AND PLANTED AREA. AREA REDUCED BY 21m<sup>2</sup>
  6. REDUCED NUMBER OF ROOF SKYLIGHTS ABOVE ASIAN RESTAURANT: 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT
  7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION, METAL ROOF NO LONGER REQUIRED
  8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION
  9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA
  10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK
- facade
11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS
  12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS
  13. 2m WIDE INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m WIDE EXTERNAL STAIRS WITH DECORATIVE BALUSTRADES
  14. EXTENT OF LEVEL 2 (MAIN TRADING LEVEL) REDUCED BY 6328mm FROM THE SOUTHERN BOUNDARY AND INCREASED BY 1100mm TO THE EASTERN BOUNDARY
  15. MODIFIED FACADE CURTAIN WALL MULLION BLADES
  16. CONCRETE BLADE WALL REDUCED BY 1.47m IN HEIGHT AND 6.2m IN LENGTH
  17. VERTICAL FINS REMOVED FROM BACK WALL (WESTERN FACADE)

- ground/landscape/floor plate
18. REVISED LOADING DOCK ENTRANCE AND LOCATION/ENLARGED DEMOLISHED AREA IN THE EXISTING RETAINED SOUTHERN CAR PARK
  19. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1. NEW CARPARK LEVEL 1.
  20. RELOCATED ELECTRICAL SUBSTATION / LANDSCAPED AREA MOVED TO SUIT
  21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY/ EXIT IS LESS THAN 8M AS PER DA CONDITION 23
  22. RELOCATED STORMWATER OVERFLOW PATH
  23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED. BASEMENT REDUCED BY 14394mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL - 3.600 TO RL -5.700. OVERALL PARKING SPACES REDUCED FROM 687 TO 680
  24. BASEMENT CAR PARK LEVEL -5 ADDED.
  25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm
  26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
  27. LOCATION OF AIR INTAKE MODIFIED
  28. EXTENT OF RESTAURANT REDUCED BY 136m<sup>2</sup>
  29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED
  30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK
  31. SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

- DASHED LINE INDICATES EXISTING BUILDING ELEMENTS TO BE DEMOLISHED
- GREY HATCH INDICATES AREA WITH NO DEMOLITION WORKS

CLIENT:  
**DEE WHY RSL CLUB**

PROJECT:  
**STAGE 5 - CLUB EXTENSION  
PHASE 2 WORKS - SOUTHERN  
CARPARK & ENCLOSURE**

ARCHITECT:  
**ALTIS**  
architecture  
p 61 2 9364 9000 f 61 2 9571 7930 lower deck jones bay wharf  
suite 123 / 26 - 32 pirrama road pymont nsw 2009 australia

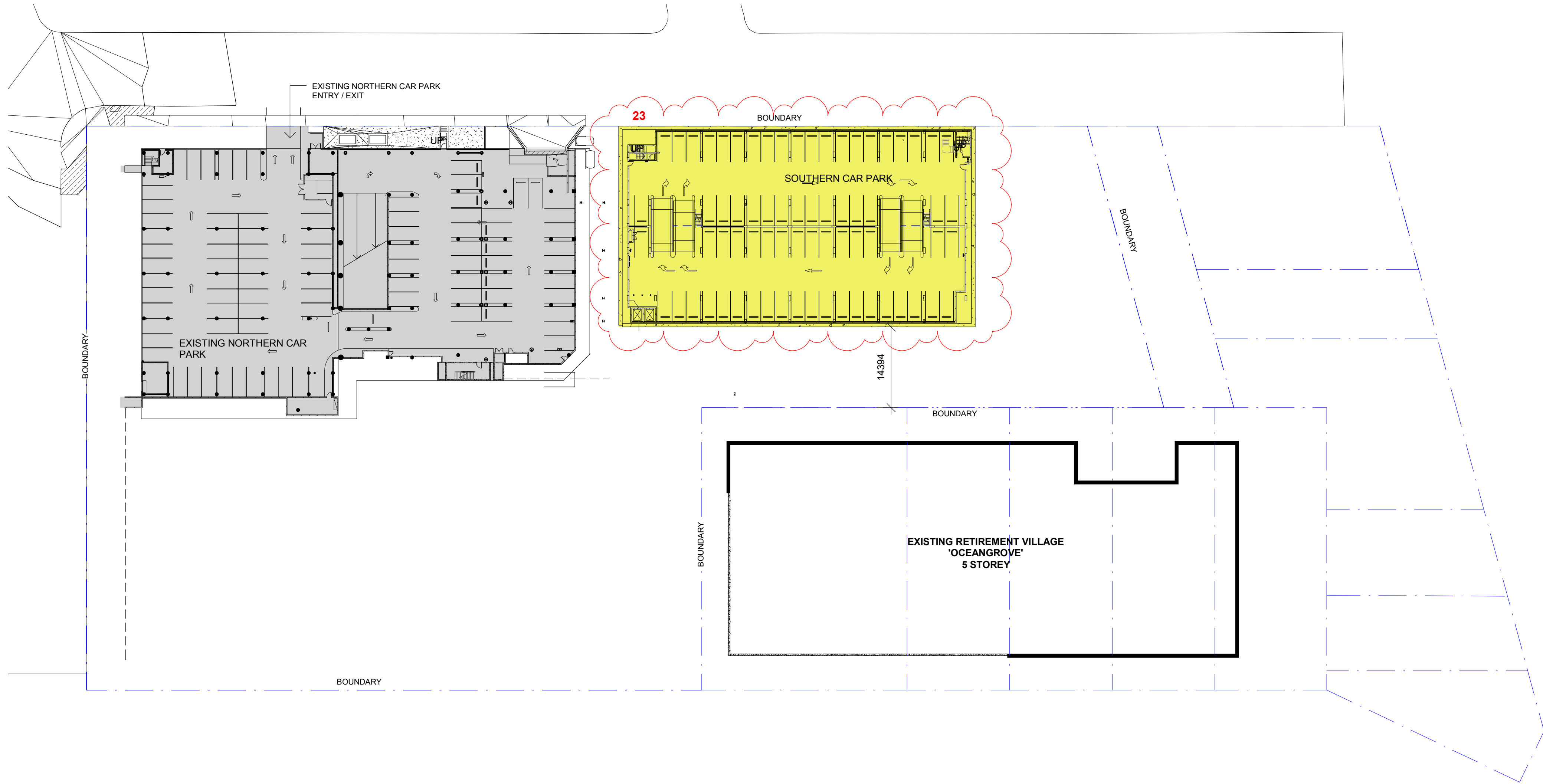
DRAWING TITLE:  
**CLUB LEVEL 3 AND LEVEL 4 -  
EXISTING AND DEMOLITION PLAN**

NOTES:  
Nominated architect: Rofe Latimer - 6535  
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SCALE:  
1 : 200 @ B1  
DRAWN BY: AG  
CHECKED BY: DOC  
PROJECT NO: 2341.06  
CADD FILE:

DATE: MARCH 2018  
ISSUE: 2  
DRAWING NO: DA-1002

SECTION 96



| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 05.03.2018 | ISSUED FOR SECTION 96              |

CHANGES FOR SECTION 96 APPROVAL

- roof
1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL
  2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
  3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
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  8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION
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  10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK

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11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS
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  20. RELOCATED ELECTRICAL SUBSTATION / LANDSCAPED AREA MOVED TO SUIT
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  22. RELOCATED STORMWATER OVERFLOW PATH
  23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED. BASEMENT REDUCED BY 14394mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL -3.600 TO RL -5.700. OVERALL PARKING SPACES REDUCED FROM 687 TO 680
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  25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm
  26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
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  31. SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

- NEW CLUB AND CAR PARK
- ALTERATIONS TO EXISTING CLUB AND CAR PARK
- NO NEW WORKS TO EXISTING CLUB

CLIENT:  
DEE WHY RSL CLUB

PROJECT:  
STAGE 5 - CLUB EXTENSION  
PHASE 2 WORKS - SOUTHERN  
CARPARK & ENCLOSURE

ARCHITECT:

**ALTIS**  
architecture

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suite 123 / 26 - 32 pirrama road pymont nsw 2009 australia

DRAWING TITLE:  
KEY PLAN - CARPARK LEVEL -1

NOTES:

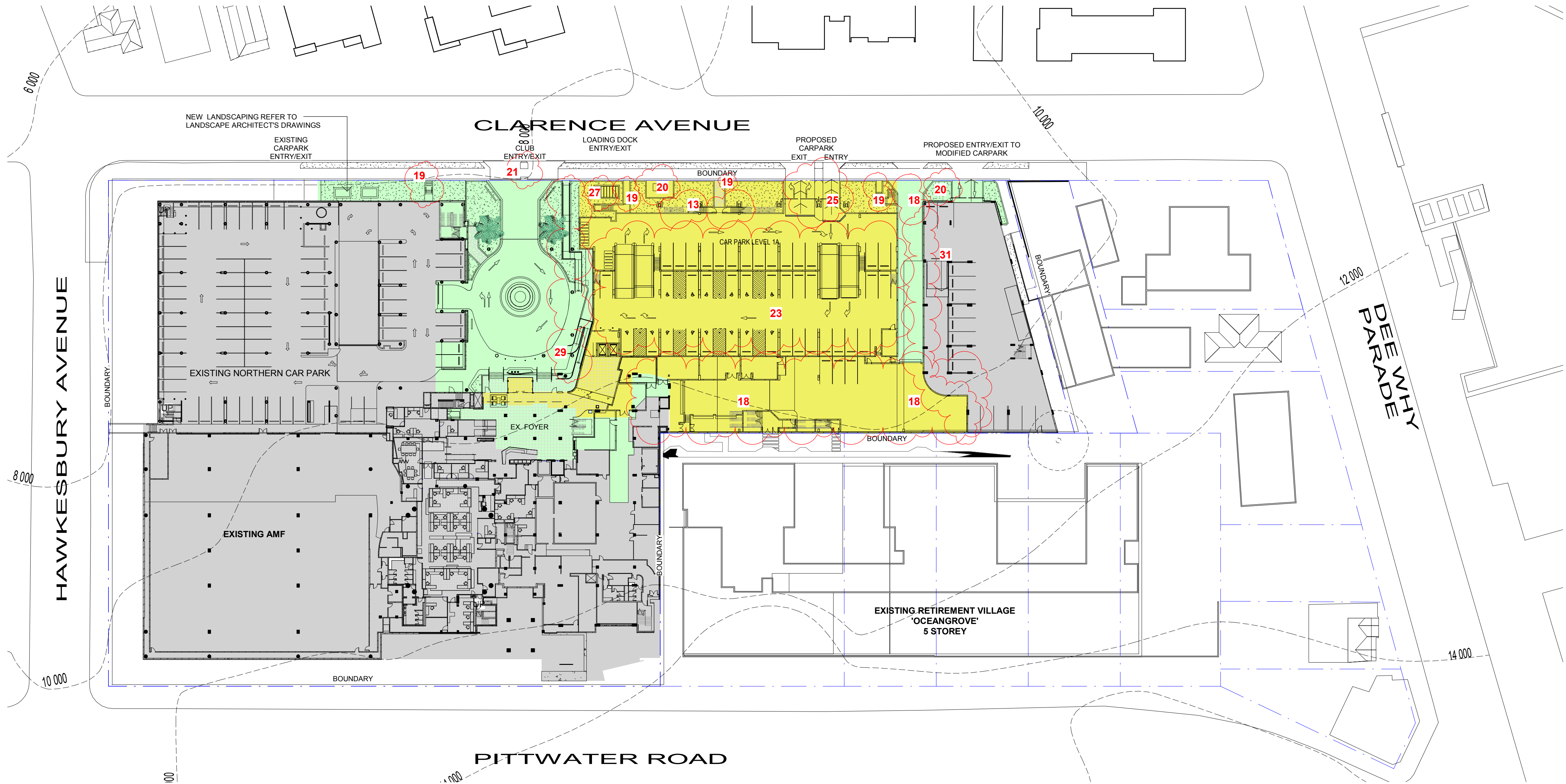
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|-------------------|-------------|-------------|
| SCALE:            | DATE:       | DATE:       |
| As indicated @ B1 | MARCH 2018  |             |
| DRAWN BY:         | CHECKED BY: | PROJECT NO: |
| MC                | DOC         | 2341.06     |
| CAD FILE:         | DRAWING NO: | ISSUE:      |
|                   | DA-1050     | 2           |

SECTION 96

5/3/2018 1:52:43 PM



| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 05.03.2018 | ISSUED FOR SECTION 96              |

CHANGES FOR SECTION 96 APPROVAL

1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL  
2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE  
3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)  
4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF. REDUCED HEIGHT AND PITCH  
5. MODIFIED SMOKING TERRACE: ROOF OPENING, SIZE AND PLANTED AREA. AREA REDUCED BY 21m²  
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7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION, METAL ROOF NO LONGER REQUIRED  
8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION  
9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA  
10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK

11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS  
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- ground/landscape/floor plate  
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24. BASEMENT CAR PARK LEVEL -5 ADDED.  
25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm  
26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB  
27. LOCATION OF AIR INTAKE MODIFIED  
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29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED  
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- NEW CLUB AND CAR PARK  
ALTERATIONS TO EXISTING CLUB AND CAR PARK  
NO NEW WORKS TO EXISTING CLUB

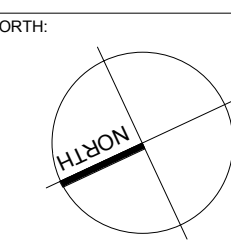
CLIENT:  
DEE WHY RSL CLUB

PROJECT:  
STAGE 5 - CLUB EXTENSION  
PHASE 2 WORKS - SOUTHERN  
CARPARK & ENCLOSURE

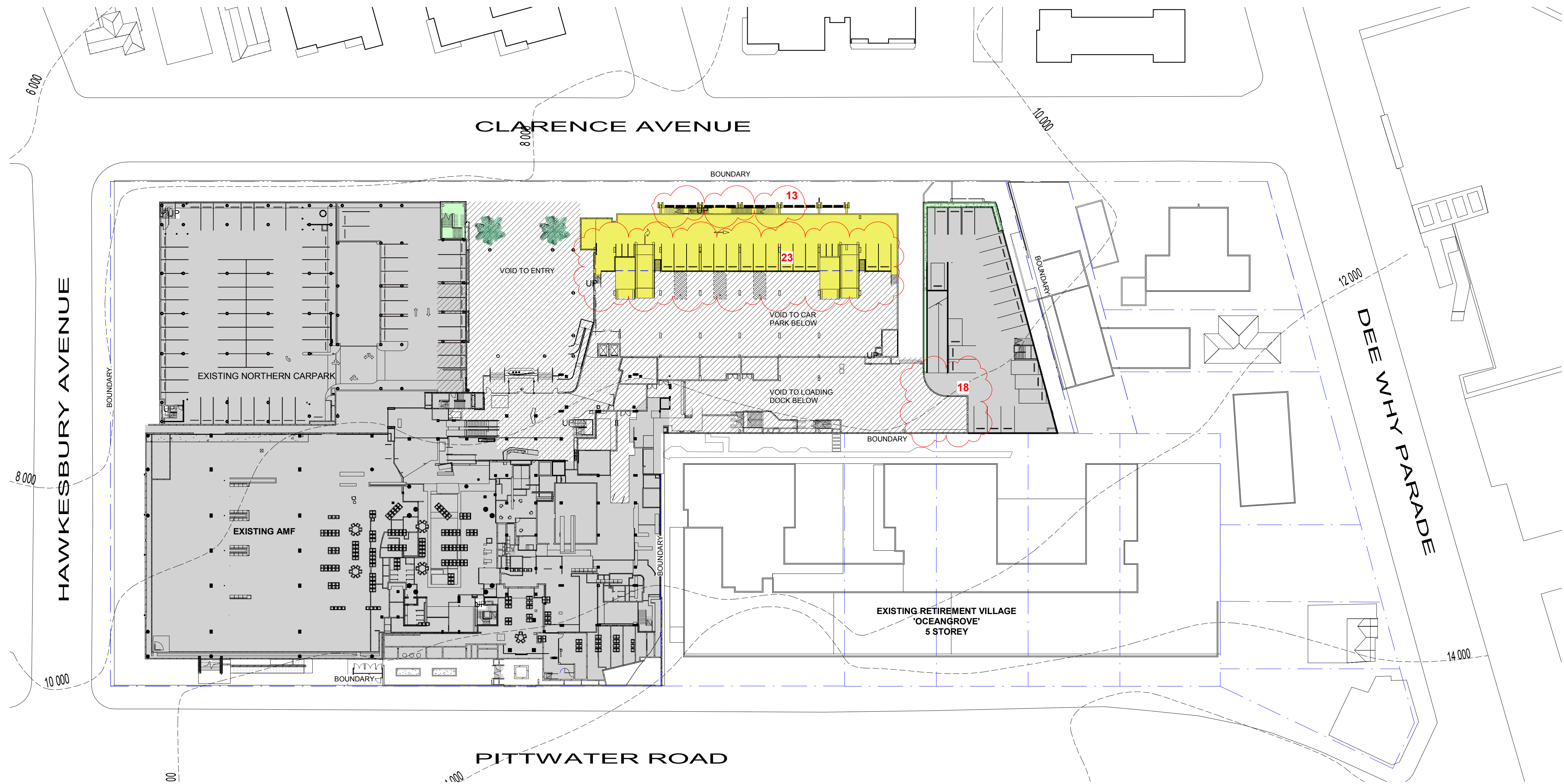
ARCHITECT:  
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DRAWING TITLE:  
KEY PLAN - CARPARK LEVEL 1

NOTES:  
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| PROJECT NO: 2341.06 | DRAWING NO: DA-1051 |
| CAD FILE:           | ISSUE: 2            |



| ISSUE | DATE       | DESCRIPTION                        |
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| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 05.03.2018 | ISSUED FOR SECTION 96              |

CHANGES FOR SECTION 96 APPROVAL

- roof
1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL
  2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
  3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
  4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF, REDUCED HEIGHT AND PITCH
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  8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION
  9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA
  10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK

- facade
11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS
  12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS
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- ground/landscape/floor plate
18. REVISED LOADING DOCK ENTRANCE AND LOCATION/ ENLARGED DEMOLISHED AREA IN THE EXISTING RETAINED SOUTHERN CAR PARK
  19. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1, NEW CARPARK LEVEL 1.
  20. RELOCATED ELECTRICAL SUBSTATION / LANDSCAPED AREA MOVED TO SUIT
  21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY/ EXIT IS LESS THAN 8M AS PER DA CONDITION 23
  22. RELOCATED STORMWATER OVERFLOW PATH
  23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED. BASEMENT REDUCED BY 14384mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL -3.600 TO RL -5.700. OVERALL PARKING SPACES REDUCED FROM 687 TO 680
  24. BASEMENT CAR PARK LEVEL -5 ADDED
  25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm
  26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
  27. LOCATION OF AIR INTAKE MODIFIED
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- NEW CLUB AND CAR PARK
- ALTERATIONS TO EXISTING CLUB AND CAR PARK
- NO NEW WORKS TO EXISTING CLUB

CLIENT:

DEE WHY RSL CLUB

PROJECT:

STAGE 5 - CLUB EXTENSION

PHASE 2 WORKS - SOUTHERN CARPARK & ENCLOSURE

ARCHITECT:

**ALTIS**  
architecture

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suite 123 / 26 - 32 pirrama road pyrmont nsw 2009 australia

DRAWING TITLE:

KEY PLAN - CAR PARK LEVEL 2

NOTES:

Nominated architect: Rofe Latimer - 5535

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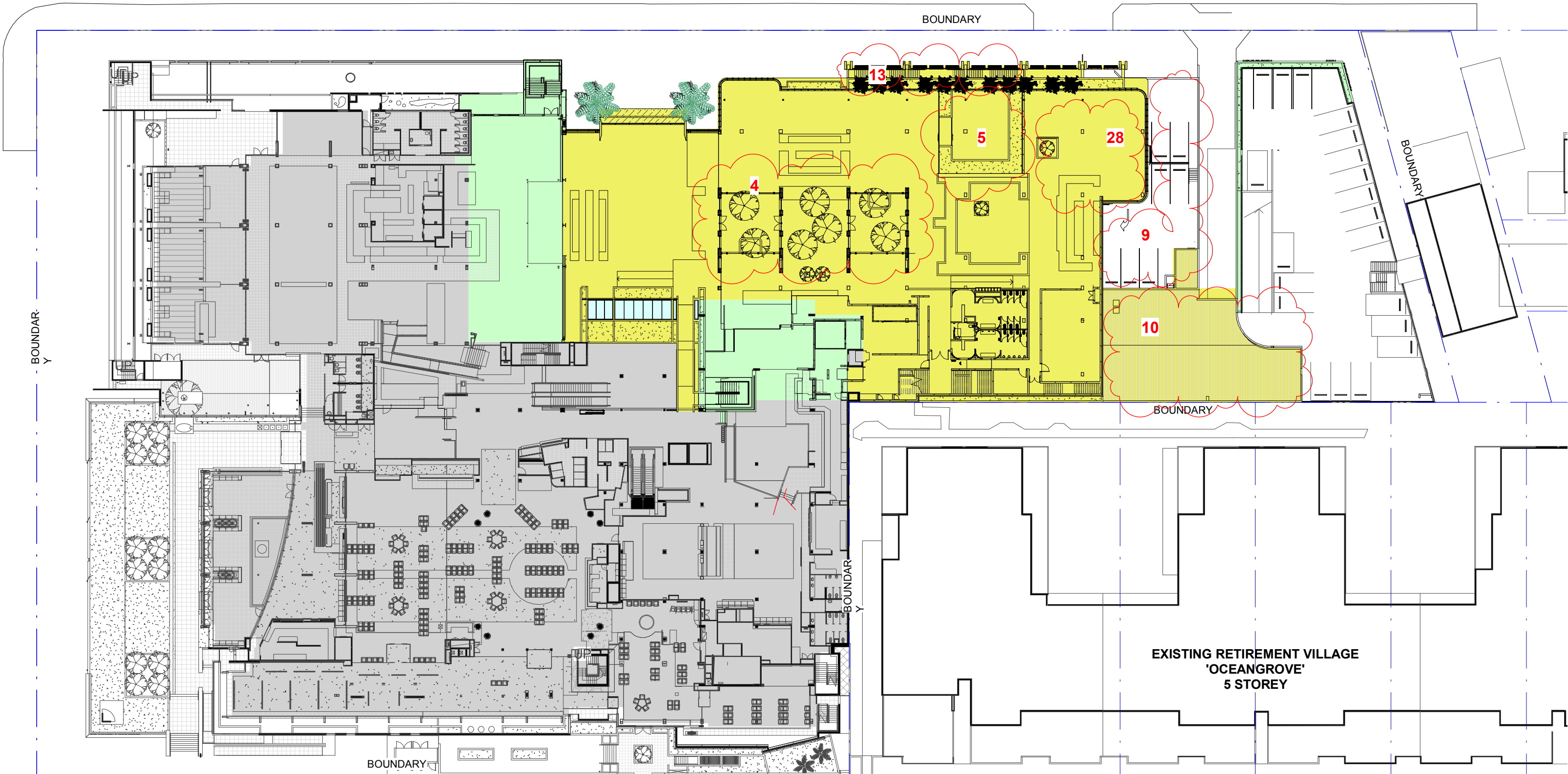
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| SCALE:            | DATE:       | NORTH:      |
| As indicated @ B1 | MARCH 2018  |             |
| DRAWN BY:         | CHECKED BY: | PROJECT NO: |
| MC                | DOC         | 2341.06     |
| CAD FILE:         | DRAWING NO: | ISSUE:      |
|                   | DA-1052     | 2           |

SECTION 96

5/3/2018 12:53:13 PM

HAWKESBURY AVENUE

CLARENCE AVENUE



PITTWATER ROAD

| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 05.03.2018 | ISSUED FOR SECTION 96              |

CHANGES FOR SECTION 96 APPROVAL

- roof
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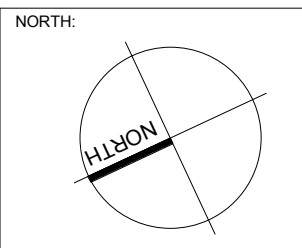
CLIENT:  
DEE WHY RSL CLUB

PROJECT:  
STAGE 5 - CLUB EXTENSION  
PHASE 2 WORKS - SOUTHERN  
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ARCHITECT:  
**ALTIS**  
architecture  
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suite 123 / 26 - 32 pirrama road pymont nsw 2009 australia

DRAWING TITLE:  
KEY PLAN - LEVEL 2

NOTES:  
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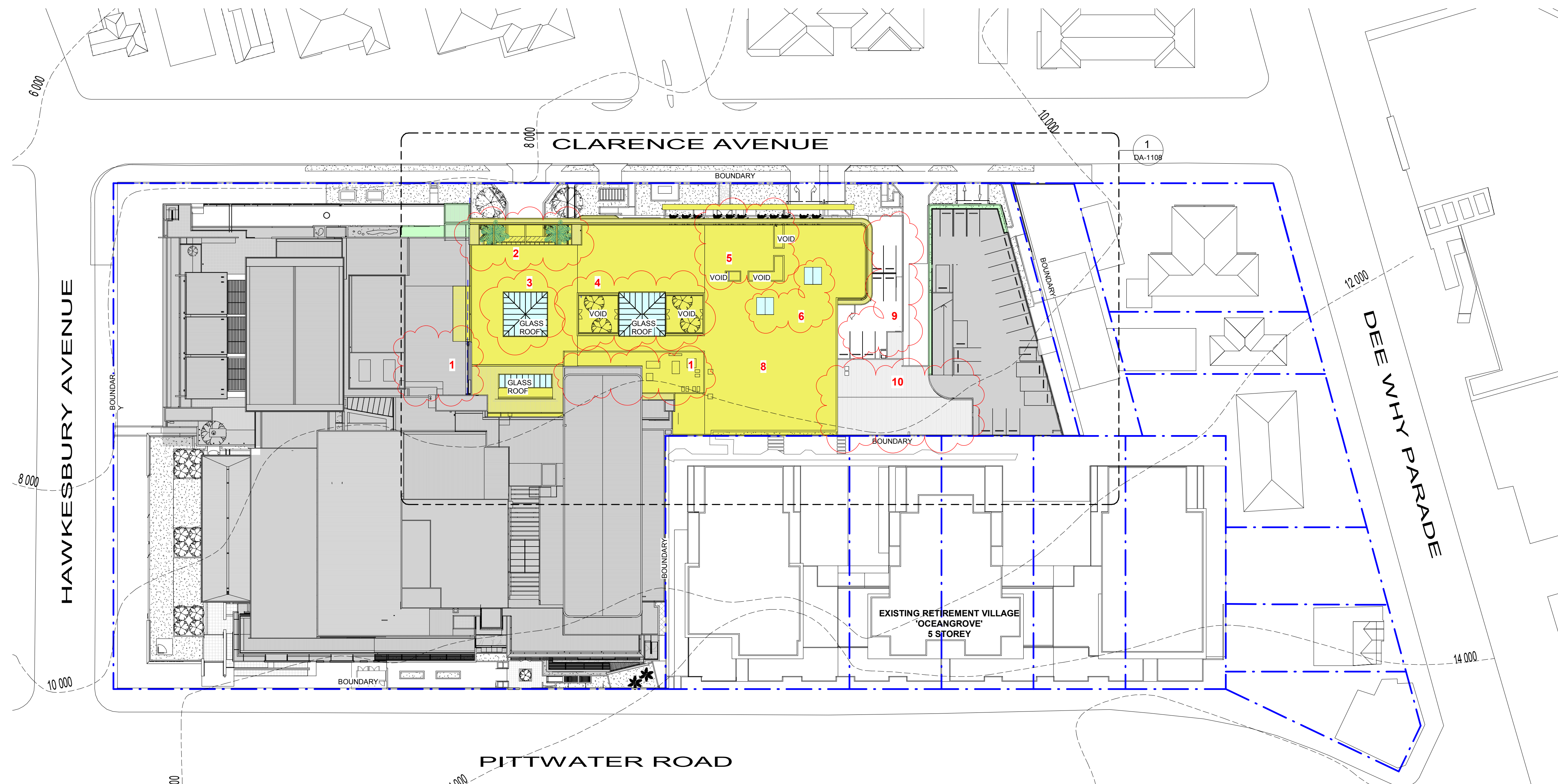


|                             |                        |
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| SCALE:<br>As indicated @ B1 | DATE:<br>MARCH 2018    |
| DRAWN BY:<br>AG             | CHECKED BY:<br>DOC     |
| PROJECT NO:<br>2341.06      | DRAWING NO:<br>DA-1053 |
| CAD FILE:                   | ISSUE:<br>2            |

SECTION 96

5/3/2018 12:45:14 PM

| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 05.03.2018 | ISSUED FOR SECTION 96              |



-  NEW CLUB AND CAR PARK
-  ALTERATIONS TO EXISTING CLUB AND CAR PARK
-  NO NEW WORKS TO EXISTING CLUB

CLIENT: DEE WHY RSL CLUB

PROJECT:

STAGE 5 - CLUB EXTENSION  
PHASE 2 WORKS - SOUTHERN  
CARPARK & ENCLOSURE

ARCHITECT:

**ALTIS**  
architecture

p 61 2 9364 9000 f 61 2 9571 7930 lower deck jones bay wharf  
suite 123 / 26 - 32 pirrama road pyrmont nsw 2009 australia

DRAWING TITLE:

KEY PLAN - ROOF

NOTES:

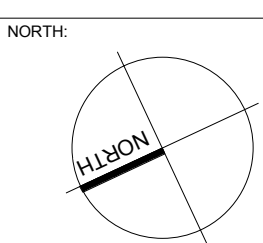
Nominated architect: Rolf Latimer : 5636

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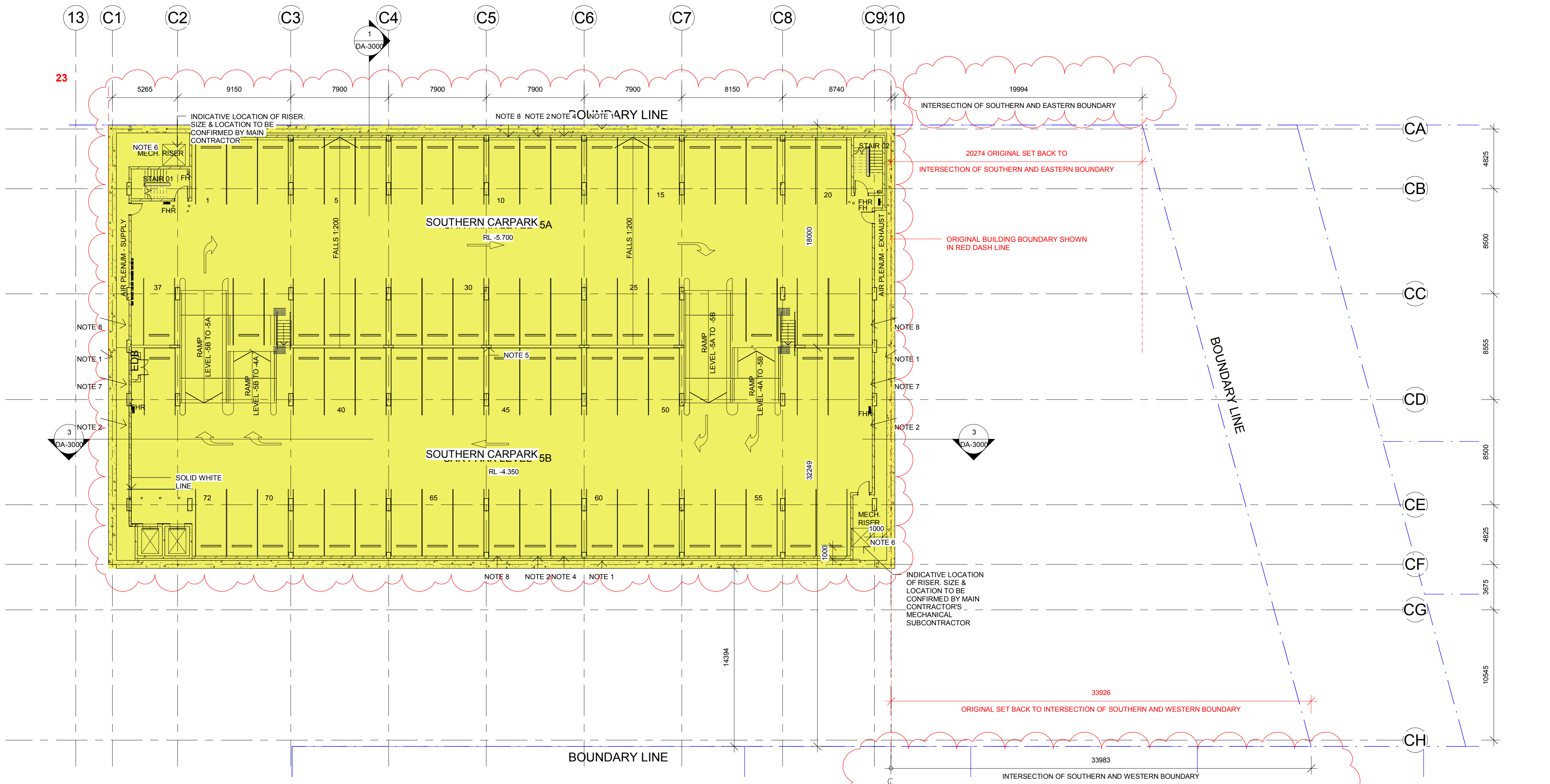
Use only figured dimensions.

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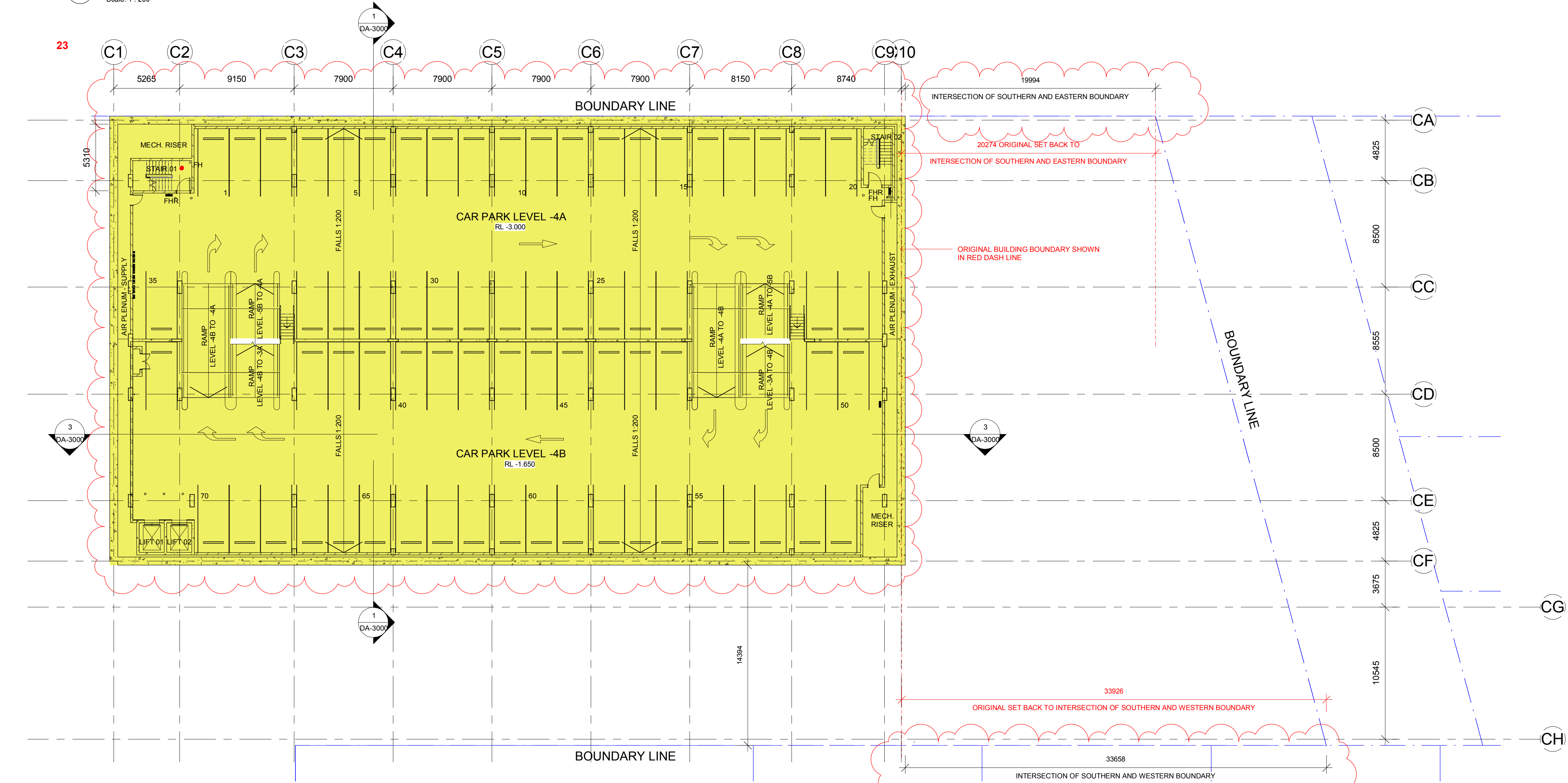
Ensure compliance with the Building Code of Australia and



|                             |                    |                        |                        |             |
|-----------------------------|--------------------|------------------------|------------------------|-------------|
| SCALE:<br>As indicated @ B1 |                    |                        | DATE:<br>MARCH 2018    |             |
| DRAWN BY:<br>MC             | CHECKED BY:<br>DOC | PROJECT NO:<br>2341.06 | DRAWING NO:<br>DA-1055 | ISSUE:<br>2 |
| CAD FILE:                   |                    |                        |                        |             |



1 CAR PARK LEVEL -5  
Scale: 1: 200



2 CAR PARK LEVEL -4  
Scale: 1: 200

CHANGES FOR SECTION 96 APPROVAL

1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL  
2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE  
3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)  
4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF. REDUCED HEIGHT AND PITCH  
5. MODIFIED SMOKING TERRACE: ROOF OPENING, SIZE AND PLANTED AREA. AREA REDUCED BY 21m²  
6. REDUCED NUMBER OF ROOF SKYLIGHTS ABOVE ASIAN RESTAURANT. 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT  
7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION, METAL ROOF NO LONGER REQUIRED  
8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION  
9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA  
10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK

facade

11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS  
12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS  
13. 2m WIDE INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m WIDE EXTERNAL STAIRS WITH DECORATIVE BALUSTRADES  
14. EXTENT OF LEVEL 2 (MAIN TRADING LEVEL) REDUCED BY 532mm FROM THE SOUTHERN BOUNDARY AND INCREASED BY 1100mm TO THE EASTERN BOUNDARY  
15. MODIFIED FACADE CURTAIN WALL MULLION BLADES  
16. CONCRETE BLADE WALL REDUCED BY 1.47m IN HEIGHT AND 6.2m IN LENGTH  
17. VERTICAL FINS REMOVED FROM BACK WALL (WESTERN FACADE)

ground/landscape/floor plate

18. REVISED LOADING DOCK ENTRANCE AND LOCATION/ ENLARGED DEMOLISHED AREA IN THE EXISTING RETAINED SOUTHERN CAR PARK  
19. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1. NEW CARPARK LEVEL 1.  
20. RELOCATED ELECTRICAL SUBSTATION / LANDSCAPED AREA MOVED TO SUIT  
21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY/ EXIT IS LESS THAN 8M AS PER DA CONDITION 23  
22. RELOCATED STORMWATER OVERFLOW PATH  
23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED. BASEMENT REDUCED BY 14394mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL -3.600 TO RL -5.700. OVERALL PARKING SPACES REDUCED FROM 687 TO 680  
24. BASEMENT CAR PARK LEVEL -5 ADDED.  
25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 30444mm  
26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB  
27. LOCATION OF AIR INTAKE MODIFIED  
28. EXTENT OF RESTAURANT REDUCED BY 136m²  
29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED  
30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK  
31. SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 05.03.2018 | ISSUED FOR SECTION 96              |

|  |                                           |
|--|-------------------------------------------|
|  | NEW CLUB AND CAR PARK                     |
|  | ALTERATIONS TO EXISTING CLUB AND CAR PARK |
|  | NO NEW WORKS TO EXISTING CLUB             |

PROPOSED PARKING SPACE SCHEDULE

| Level        | Mark                   | Count |
|--------------|------------------------|-------|
| CP LEVEL -5A | PARKING SPACE          | 37    |
| CP LEVEL -5B | PARKING SPACE          | 35    |
| CP LEVEL -4A | PARKING SPACE          | 35    |
| CP LEVEL -4B | PARKING SPACE          | 35    |
| CP LEVEL -3A | PARKING SPACE          | 35    |
| CP LEVEL -3B | PARKING SPACE          | 35    |
| CP LEVEL -2A | PARKING SPACE          | 35    |
| CP LEVEL -2B | PARKING SPACE          | 35    |
| CP LEVEL -1A | PARKING SPACE          | 35    |
| CP LEVEL -1B | PARKING SPACE          | 34    |
| CP LEVEL 1A  | PARKING SPACE          | 14    |
| CP LEVEL 1B  | DISABLED PARKING SPACE | 14    |
| CP LEVEL 1B  | PARKING SPACE          | 13    |
| CP LEVEL 2A  | PARKING SPACE          | 14    |
| Grand total: |                        | 406   |

|              |                    |   |
|--------------|--------------------|---|
| CP LEVEL 2A  | MOTOR BIKE PARKING | 6 |
| Grand total: |                    | 6 |

|              |               |    |
|--------------|---------------|----|
| CP LEVEL 1   | BICYCLE SPACE | 12 |
| Grand total: |               | 12 |

EXISTING ZONE D PARKING SPACE SCHEDULE

| Level               | Mark          | Count |
|---------------------|---------------|-------|
| EXISTING CP LEVEL 1 | PARKING SPACE | 18    |
| EXISTING CP LEVEL 2 | PARKING SPACE | 20    |
| EX. Grand total:    |               | 38    |

CLIENT:

DEE WHY RSL CLUB

PROJECT:

STAGE 5 - CLUB EXTENSION  
PHASE 2 WORKS - SOUTHERN  
CARPARK & ENCLOSURE

ARCHITECT:

**ALTIS**  
architecture

p 61 2 9364 9000 f 61 2 9571 7930 lower deck jones bay wharf  
suite 123 / 26 - 32 pirrama road pyrmont nsw 2009 australia

DRAWING TITLE:

CAR PARK LEVEL -4 & LEVEL -5

NOTES:

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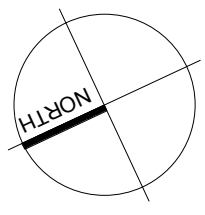
SCALE:

As indicated @ B1

DRAWN BY: MC CHECKED BY: DOC PROJECT NO: 2341.06

CAD FILE:

NORTH:



DATE:

MARCH 2018

DRAWING NO:

DA-1100

ISSUE:

2

SECTION 96

5/3/2018 12:45:50 PM



- 1. MODIFIED OPEN PLANT ROOM AT THE ROOF LEVEL
- 2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
- 3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
- 4. MODIFIED COURTYARD - TWO OPEN COURTYARDS
- 5. MODIFIED PLANTED AREA - EXTENDED TO ONE LARGE GLASS ROOF - REDUCED HEIGHT AND PITCH
- 5. MODIFIED SMOKING TERRACE - ROOF OPENING, SIZE AND PLANTED AREA - AREA REDUCED BY 21m<sup>2</sup>
- 6. NO NEW NUMBER OF ROOF - SKYLIGHTS ABOVE ASIAN RESTAURANT - 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT
- 7. MODIFIED EXIT STAIR - POSITION, CONFIGURATION AND ROOF AREA NOT REQUIRED
- 8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION
- 9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN PLANT ROOM
- 10. NEW ACQUATIC METAL ROOF ABOVE REVISED LOADING DOCK

facade

11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS

12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS

13. 2.0m WIDE INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m WIDE EXTERNAL STAIRS WITH DECORATIVE BALUSTRADES

14. EXTENT OF LEVEL 2 (MAIN TRADING LEVEL) REDUCED BY 100mm FROM THE SOUTHERN BOUNDARY AND INCREASED BY 1100mm TO THE EASTERN BOUNDARY

15. MODIFIED FACADE CURTAIN WALL MULLION BLADES

16. CONCRETE BLADE WALL REDUCED BY 1.47m IN LENGTH AND 0.2m IN LENGTH

17. VERTICAL FINIS REMOVED FROM BACK WALL (WESTERN FACADE)

9. LANDSCAPED LAWN/FLOOR PLATE
10. REVISED LOADING DOCK ENTRANCE AND EXISTING DRIVEWAY TO EXISTING NORTHERN CARPARK ENLARGED TO FIT WITHIN THE EXISTING TRENCH EXISTING SOUTHERN CARPARK
11. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1, NEW CARPARK LEVEL 1.
12. EXISTING EXPOSED TO ELECTRICITY CABLE TRAY (LOCATION) LANDSCAPED AREA MOVED TO SUIT
13. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE AREA OF REFUGE AND ENSURE WIDENING OF EXISTING EXITS THAT ARE NOT MODIFIED TO 2.9
22. RELOCATED STORMWATER OVERFLOW PATH
23. EXTENT OF BASEMENT CARPARK PARK LEVELS
24. BASEMENT CARPARK LEVEL -1.400M TO 1.400M FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. BASEMENT CARPARK LEVEL -1.400M TO CARPARK 3.600 TO RL -5.700. OVERALL PARKING SPACES REDUCED FROM 887 TO 680
25. BASEMENT CARPARK LEVEL -1.400M - 5 ADDED
26. BASEMENT CARPARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm
26. PLANTER MODIFIED ON THE BACK (WESTERN) SIDE OF THE BUILDING DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
27. LOCATION OF AIR INTAKE MODIFIED
28. EXTENT OF RESTAURANT REDUCED BY 130m<sup>2</sup>
29. EXISTING RESTAURANT PARTITION WALLS MODIFIED
30. ONE ADDITIONAL EXISTING CARPARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CARPARK
31. EXISTING DRIVEWAY ADDED TO EXISTING ZONE D CARPARK AND LOADING DOCK ACCESS.

|                                                                                     |                                           |
|-------------------------------------------------------------------------------------|-------------------------------------------|
|  | NEW CLUB AND CAR PARK                     |
|  | ALTERATIONS TO EXISTING CLUB AND CAR PARK |
|  | NO NEW WORKS TO EXISTING CLUB             |

| PROPOSED PARKING SPACE SCHEDULE |                       |       |
|---------------------------------|-----------------------|-------|
| Level                           | Mark                  | Count |
| CP LEVEL -5A                    | PARKING SPACE         | 37    |
| CP LEVEL -5B                    | PARKING SPACE         | 35    |
| CP LEVEL -4A                    | PARKING SPACE         | 35    |
| CP LEVEL -4B                    | PARKING SPACE         | 35    |
| CP LEVEL -3A                    | PARKING SPACE         | 35    |
| CP LEVEL -3B                    | PARKING SPACE         | 35    |
| CP LEVEL -2A                    | PARKING SPACE         | 35    |
| CP LEVEL -2B                    | PARKING SPACE         | 35    |
| CP LEVEL -1A                    | PARKING SPACE         | 35    |
| CP LEVEL -1B                    | PARKING SPACE         | 34    |
| CP LEVEL 1A                     | PARKING SPACE         | 14    |
| CP LEVEL 1B                     | DISABLE PARKING SPACE | 14    |
| CP LEVEL 1B                     | PARKING SPACE         | 13    |
| CP LEVEL 2A                     | PARKING SPACE         | 14    |
| Grand total: 406                |                       |       |

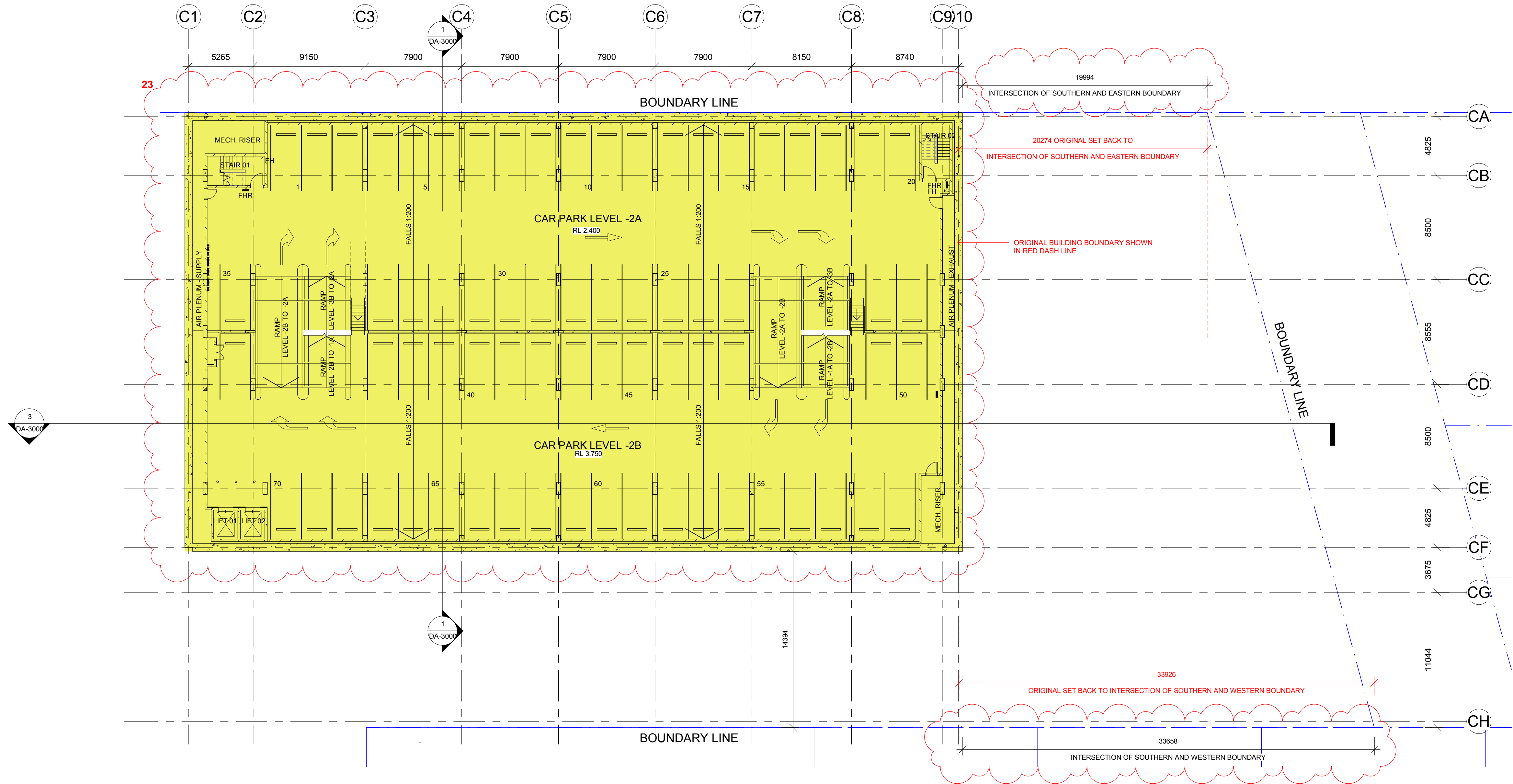
|              |                    |   |
|--------------|--------------------|---|
| CP LEVEL 2A  | MOTOR BIKE PARKING | 6 |
| Grand total: |                    | 6 |

|                 |               |    |
|-----------------|---------------|----|
| CP LEVEL 1      | BICYCLE SPACE | 12 |
| Grand total: 12 |               |    |

| EXISTING ZONE D PARKING SPACE SCHEDULE |               |       |
|----------------------------------------|---------------|-------|
| Level                                  | Mark          | Count |
| EXISTING CP LEVEL 1                    | PARKING SPACE | 18    |
| EXISTING CP LEVEL 2                    | PARKING SPACE | 20    |

## SECTION 96

| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 05.03.2018 | ISSUED FOR SECTION 96              |



1 CAR PARK LEVEL -2  
Scale: 1:200

#### CHANGES FOR SECTION 96 APPROVAL

- ROOF  
1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL  
2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE  
3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)  
4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF. REDUCED HEIGHT AND PITCH  
5. MODIFIED SMOKING TERRACE, ROOF OPENING, SIZE AND PLANTED AREA, AREA REDUCED BY 21m²  
6. REDUCED NUMBER OF ROOF SKYLIGHTS ABOVE ASIAN RESTAURANT: 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT  
7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION, METAL ROOF NO LONGER REQUIRED  
8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION  
9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA  
10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK

- facade  
11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS  
12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS  
13. 2m WIDE INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m WIDE EXTERNAL STAIRS WITH DECORATIVE BALUSTRADES  
14. EXTENT OF LEVEL 2 (MAIN TRADING LEVEL) REDUCED BY 8326mm FROM THE SOUTHERN BOUNDARY AND INCREASED BY 1100mm TO THE EASTERN BOUNDARY  
15. MODIFIED FACADE CURTAIN WALL MULLION BLADES  
16. CONCRETE BLADE WALL REDUCED BY 1.47m IN HEIGHT AND 0.2m IN LENGTH  
17. VERTICAL FINS REMOVED FROM BACK WALL (WESTERN FACADE)

- ground/landscape/floor plate  
18. REVISED LOADING DOCK ENTRANCE AND LOCATION/ ENLARGED DEMOLISHED AREA IN THE EXISTING RETAINED SOUTHERN CAR PARK  
19. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1. NEW CARPARK LEVEL 1.  
20. RELOCATED ELECTRICAL SUBSTATION / LANDSCAPED AREA MOVED TO SUIT  
21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY/ EXIT IS LESS THAN 8M AS PER DA CONDITION 23  
22. RELOCATED STORMWATER OVERFLOW PATH  
23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED. BASEMENT REDUCED BY 14394mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL -3.800 TO RL -5.700. OVERALL PARKING SPACES REDUCED FROM 687 TO 680  
24. BASEMENT CAR PARK LEVEL -5 ADDED.  
25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm  
26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB  
27. LOCATION OF AIR INTAKE MODIFIED  
28. EXTENT OF RESTAURANT REDUCED BY 136m²  
29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED  
30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK  
31. SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

- NEW CLUB AND CAR PARK
- ALTERATIONS TO EXISTING CLUB AND CAR PARK
- NO NEW WORKS TO EXISTING CLUB

| PROPOSED PARKING SPACE SCHEDULE |                        |       |
|---------------------------------|------------------------|-------|
| Level                           | Mark                   | Count |
| CP LEVEL -5A                    | PARKING SPACE          | 37    |
| CP LEVEL -5B                    | PARKING SPACE          | 35    |
| CP LEVEL -4A                    | PARKING SPACE          | 35    |
| CP LEVEL -4B                    | PARKING SPACE          | 35    |
| CP LEVEL -3A                    | PARKING SPACE          | 35    |
| CP LEVEL -3B                    | PARKING SPACE          | 35    |
| CP LEVEL -2A                    | PARKING SPACE          | 35    |
| CP LEVEL -2B                    | PARKING SPACE          | 35    |
| CP LEVEL -1A                    | PARKING SPACE          | 35    |
| CP LEVEL -1B                    | PARKING SPACE          | 34    |
| CP LEVEL 1A                     | PARKING SPACE          | 14    |
| CP LEVEL 1B                     | DISABLED PARKING SPACE | 14    |
| CP LEVEL 1B                     | PARKING SPACE          | 13    |
| CP LEVEL 2A                     | PARKING SPACE          | 14    |
| Grand total: 406                |                        |       |

|                 |                    |    |
|-----------------|--------------------|----|
| CP LEVEL 2A     | MOTOR BIKE PARKING | 6  |
| Grand total: 6  |                    |    |
| CP LEVEL 1      | BICYCLE SPACE      | 12 |
| Grand total: 12 |                    |    |

| EXISTING ZONE D PARKING SPACE SCHEDULE |               |       |
|----------------------------------------|---------------|-------|
| Level                                  | Mark          | Count |
| EXISTING CP LEVEL 1                    | PARKING SPACE | 18    |
| EXISTING CP LEVEL 2                    | PARKING SPACE | 20    |
| EX. Grand total: 38                    |               |       |

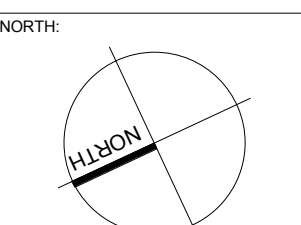
CLIENT:  
DEE WHY RSL CLUB

PROJECT:  
STAGE 5 - CLUB EXTENSION  
PHASE 2 WORKS - SOUTHERN  
CARPARK & ENCLOSURE

ARCHITECT:  
**ALTIS**  
architecture  
p 61 2 9364 9000 f 61 2 9571 7930 lower deck jones bay wharf  
suite 123 / 26 - 32 pirrama road pyrmont nsw 2009 australia

DRAWING TITLE:  
CAR PARK LEVEL -2

NOTES:  
Nominated architect: Rofe Latimer - 6535  
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Ensure compliance with the Building Code of Australia and all relevant Australian Standards and Authority requirements.

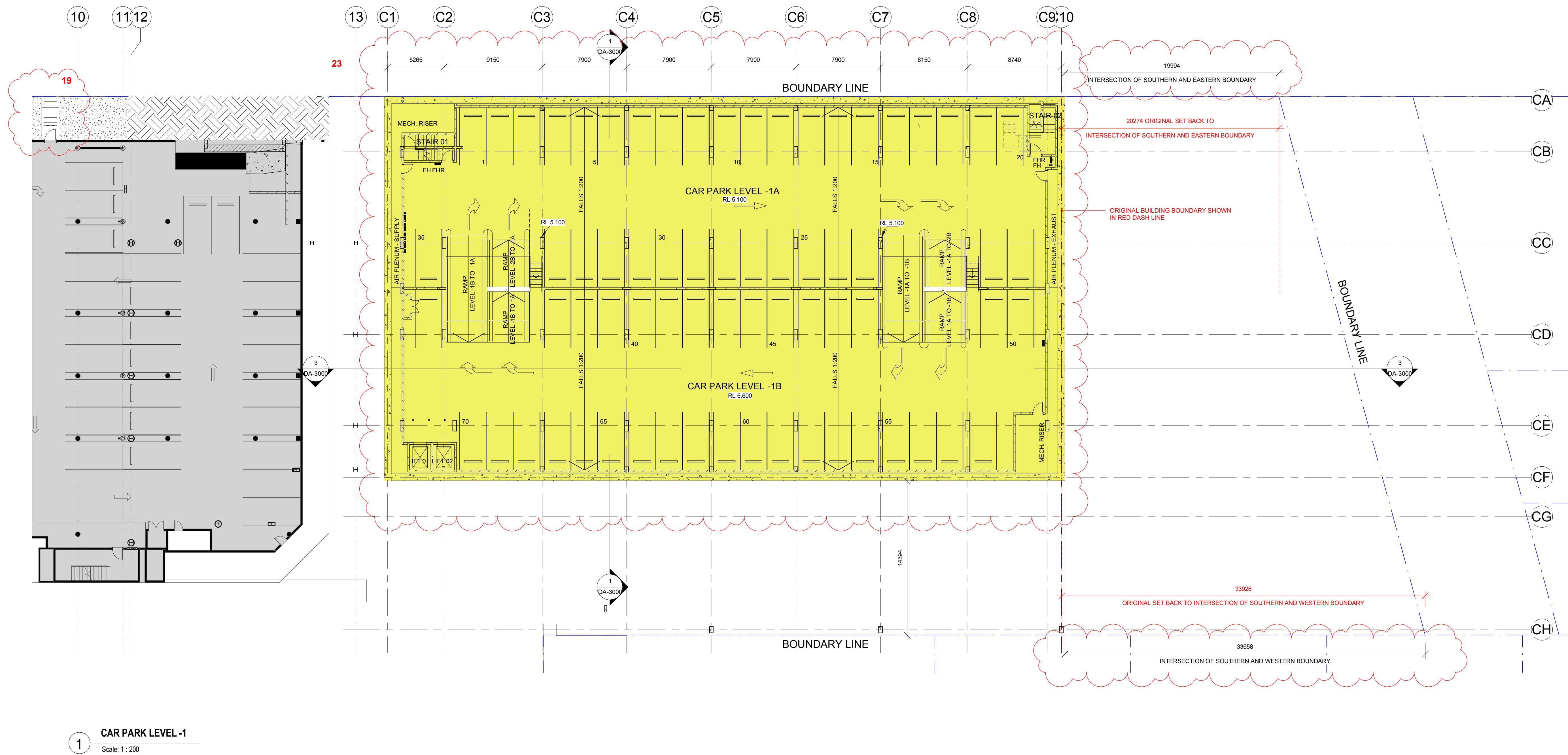


|                             |                        |
|-----------------------------|------------------------|
| SCALE:<br>As indicated @ B1 | DATE:<br>MARCH 2018    |
| DRAWN BY:<br>MC             | CHECKED BY:<br>DOC     |
| PROJECT NO:<br>2341.06      | DRAWING NO:<br>DA-1102 |
| CAD FILE:                   | ISSUE:<br>2            |

## SECTION 96

5/3/2018 12:45:08 PM

| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 05.03.2018 | ISSUED FOR SECTION 96              |



### CHANGES FOR SECTION 96 APPROVAL

- 1. MODIFIED OPEN PLANTROOM AT THE ROOF LEVEL
- 2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
- 3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
- 4. MODIFIED COURTYARD - TWO OPEN COURTYARDS
- 5. MODIFIED SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF REDUCED HEIGHT AND PITCH
- 5. MODIFIED SMOKING TERRACE: ROOF OPENING, SIZE AND PLANTED AREA. AREA REDUCED BY 21m<sup>2</sup>
- 6. MODIFIED NORTH SIDE OF ROOF OF SKYLIGHTS ABOVE ASIAN RESTAURANT: 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT
- 7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION
- 8. METAL ROOF NO LONGER REQUIRED
- 9. CONCRETE ROOF OVER THE PLANT DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION
- 9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA
- 10. CONCRETE ACQUACQUA METAL ROOF ABOVE REVISED LOADING DOCK

facade

11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS
12. REMOVED LOUVRES ON THE BACK FACADE (REMOVED REQUIRE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS
13. 2m wide INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m wide INTERNAL STAIRS WITH DECORATIVE BALUSTRADES
14. EXTENT OF LEVEL 2 (MAIN TRADING LEVEL) REDUCED BY 8326mm FROM THE SOUTHERN BOUNDARY AND INCREASED BY 1100mm TO THE EASTERN BOUNDARY
15. MODIFIED FACADE CURTAIN WALL MULLION BLADES
16. CONCRETE CURTAIN WALL REDUCED BY 147mm IN HEIGHT AND 6.2m IN LENGTH
17. VERTICAL FINES REMOVED FROM BACK WALL (WESTERN FACADE)

ground/landscape/floor plate

18. REVISED LOADING DOCK ENTRANCE AND LOADING ENTRANCE DEMOLISHED AREA IN THE EXISTING REINFORCED SOUTHERN CAR PARK LEVEL 1. NEW / MODIFIED PATHS TO EXISTING CARPARK LEVEL - 1. NEW CARPARK LEVEL 1.
20. RELOCATED ELECTRICAL SUBSTATION / TRANSFORMER TO EXISTING PATHS
21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY IS LESS THAN 8M AS PER DA CONDITION 23
22. EXISTING BASEMENT STAIRWAY PATHS
23. EXISTED BASEMENT CARPARK LEVEL REDUCED. BASEMENT REDUCED BY 1439mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 1439mm TO THE EAST BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL - 3.600 TO RL -5.700. OVERALL PARKING SPACES INCREASED FROM 100 TO 110
24. BASEMENT CARPARK LEVEL - 5 ADDED.
25. CAR PARK ENTRY / EXIT MODIFIED TOWARD NORTH BY 3044mm
26. ENTRY MODIFIED ON THE BACK (WESTERN) FACADE DUO TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
27. LOCATION OF AIR INTAKE MODIFIED
28. EXTENT OF RESTAURANT REDUCED BY 136m<sup>2</sup>
29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED
30. ONE ADDITIONAL EXISTING CARPARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK LEVEL 1. ONE ADDITIONAL EXISTING ZONE D CARPARK AND LOADING DOCK ACCESS.

| PROPOSED PARKING SPACE SCHEDULE |      |       |
|---------------------------------|------|-------|
| Level                           | Mark | Count |

|              |                       |    |
|--------------|-----------------------|----|
| CP LEVEL -5A | PARKING SPACE         | 37 |
| CP LEVEL -5B | PARKING SPACE         | 35 |
| CP LEVEL -4A | PARKING SPACE         | 35 |
| CP LEVEL -4B | PARKING SPACE         | 35 |
| CP LEVEL -3A | PARKING SPACE         | 35 |
| CP LEVEL -3B | PARKING SPACE         | 35 |
| CP LEVEL -2A | PARKING SPACE         | 35 |
| CP LEVEL -2B | PARKING SPACE         | 35 |
| CP LEVEL -1A | PARKING SPACE         | 35 |
| CP LEVEL -1B | PARKING SPACE         | 34 |
| CP LEVEL 1A  | PARKING SPACE         | 14 |
| CP LEVEL 1B  | DISABLE PARKING SPACE | 14 |
| CP LEVEL 1B  | PARKING SPACE         | 13 |
| CP LEVEL 2A  | PARKING SPACE         | 14 |

|                |                    |   |
|----------------|--------------------|---|
| CP LEVEL 2A    | MOTOR BIKE PARKING | 6 |
| Grand total: 6 |                    |   |

|                 |               |    |
|-----------------|---------------|----|
| CP LEVEL 1      | BICYCLE SPACE | 12 |
| Grand total: 12 |               |    |

| EXISTING ZONE D PARKING SPACE SCHEDULE |               |       |
|----------------------------------------|---------------|-------|
| Level                                  | Mark          | Count |
| EXISTING CP LEVEL 1                    | PARKING SPACE | 18    |
| EXISTING CP LEVEL 2                    | PARKING SPACE | 20    |

CLIENT:

DEE WHY RSL CLUB

PROJECT:

## STAGE 5 - CLUB EXTENSION PHASE 2 WORKS - SOUTHERN CARPARK & ENCLOSURE

ARCHITECT:

**ALTIS**  
architecture

p 61 2 9364 9000 f 61 2 9571 7930 lower deck jones bay wharf  
suite 123 / 26 - 32 pirrama road pyrmont nsw 2009 australia

DRAWING TITLE:

CAR PARK LEVEL -1

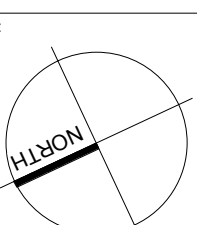
NOTES:

Nominated architect: Rolf L  mer : 5535  
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SCALE: As indicated @ B1

|                 |                    |                        |
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| CAD FILE:       |                    |                        |

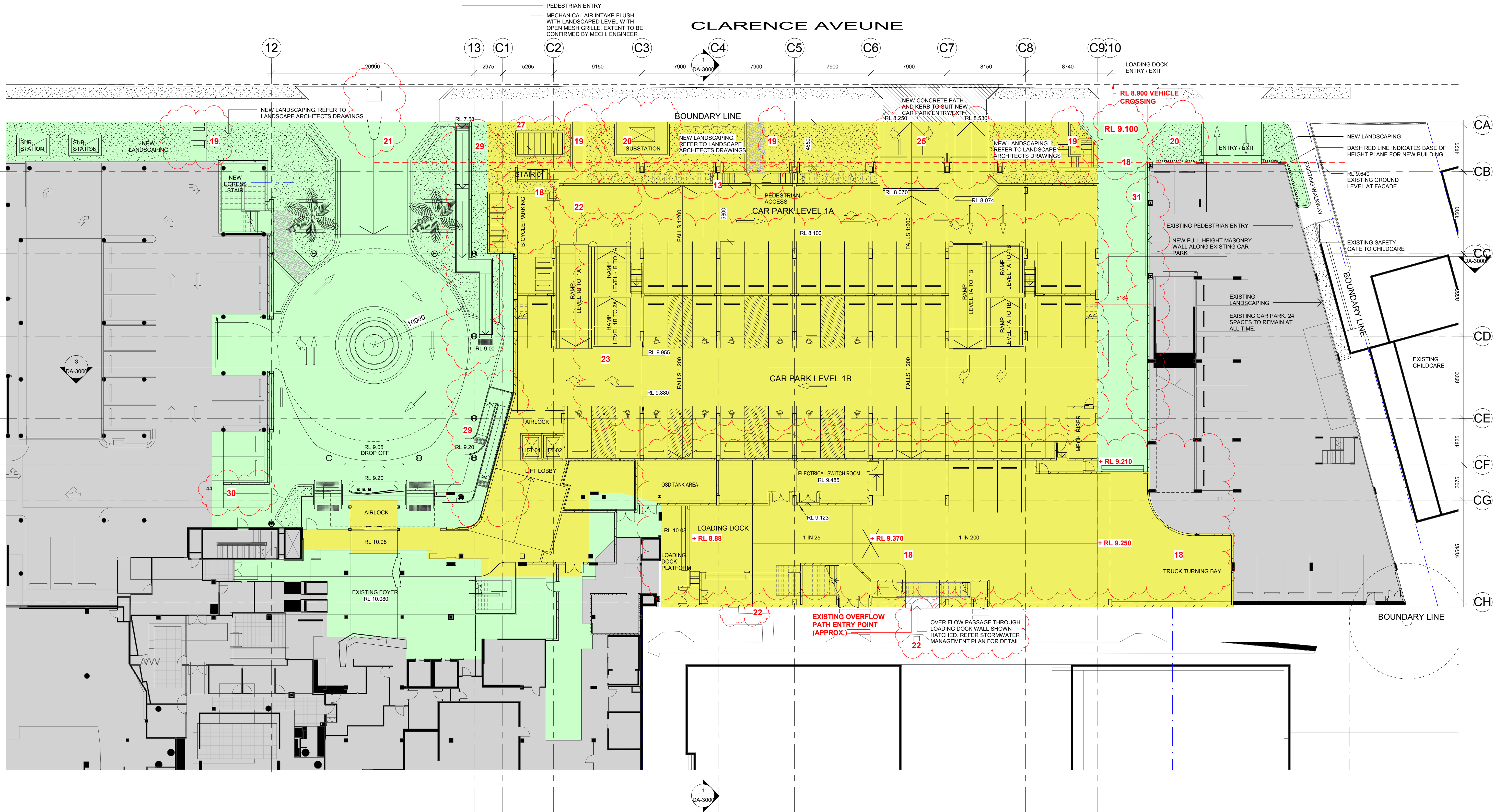
NORTH



|                               |                    |
|-------------------------------|--------------------|
| DATE:<br><b>MARCH 2018</b>    |                    |
| DRAWING NO:<br><b>DA-1103</b> | ISSUE:<br><b>2</b> |

## SECTION 96

5/03/2018 12:55:15 PM



3 CAR PARK LEVEL 1 (ENTRY LEVEL)  
Scale: 1:200

- NEW CLUB AND CAR PARK
- ALTERATIONS TO EXISTING CLUB AND CAR PARK
- NO NEW WORKS TO EXISTING CLUB

| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 05.03.2018 | ISSUED FOR SECTION 96              |

CHANGES FOR SECTION 96 APPROVAL

1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL

2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE

3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)

4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF, REDUCED HEIGHT AND PITCH

5. MODIFIED SMOKING TERRACE: ROOF OPENING, SIZE AND PLANTED AREA. AREA REDUCED BY 21m<sup>2</sup>

6. REDUCED NUMBER OF ROOF SKYLIGHTS ABOVE ASIAN RESTAURANT: 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT

7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION, METAL ROOF NO LONGER REQUIRED

8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION

9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA

10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK

facade

11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS

12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS

13. 2m WIDE INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m WIDE EXTERNAL STAIRS WITH DECORATIVE BALUSTRADES

14. EXTENT OF LEVEL 2 (MAIN TRADING LEVEL) REDUCED BY 828mm FROM THE SOUTHERN BOUNDARY AND INCREASED BY 1100mm TO THE EASTERN BOUNDARY

15. MODIFIED FACADE CURTAIN WALL MULLION BLADES

16. CONCRETE BLADE WALL REDUCED BY 1.47m IN HEIGHT AND 6.2m IN LENGTH

17. VERTICAL FINIS REMOVED FROM BACK WALL (WESTERN FACADE)

ground/landscape/floor plate

18. REVISED LOADING DOCK ENTRANCE AND LOCATION/ ENLARGED DEMOLISHED AREA IN THE EXISTING RETAINED SOUTHERN CAR PARK

19. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1. NEW CARPARK LEVEL 1.

20. RELOCATED ELECTRICAL SUBSTATION / LANDSCAPED AREA MOVED TO SUIT

21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY/ EXIT IS LESS THAN 8M AS PER DA CONDITION 23

22. RELOCATED STORMWATER OVERFLOW PATH

23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED. BASEMENT REDUCED BY 14394mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL -3.600 TO RL -5.700. OVERALL PARKING SPACES REDUCED FROM 687 TO 680

24. BASEMENT CAR PARK LEVEL -5 ADDED.

25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm

26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB

27. LOCATION OF AIR INTAKE MODIFIED

28. EXTENT OF RESTAURANT REDUCED BY 136m<sup>2</sup>

29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED

30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK

31. FULL HEIGHT SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

| PROPOSED PARKING SPACE SCHEDULE |                       |       |
|---------------------------------|-----------------------|-------|
| Level                           | Mark                  | Count |
| CP LEVEL -5A                    | PARKING SPACE         | 37    |
| CP LEVEL -5B                    | PARKING SPACE         | 35    |
| CP LEVEL -4A                    | PARKING SPACE         | 35    |
| CP LEVEL -4B                    | PARKING SPACE         | 35    |
| CP LEVEL -3A                    | PARKING SPACE         | 35    |
| CP LEVEL -3B                    | PARKING SPACE         | 35    |
| CP LEVEL -2A                    | PARKING SPACE         | 35    |
| CP LEVEL -2B                    | PARKING SPACE         | 35    |
| CP LEVEL -1A                    | PARKING SPACE         | 35    |
| CP LEVEL -1B                    | PARKING SPACE         | 34    |
| CP LEVEL 1A                     | PARKING SPACE         | 14    |
| CP LEVEL 1B                     | DISABLE PARKING SPACE | 14    |
| CP LEVEL 1B                     | PARKING SPACE         | 13    |
| CP LEVEL 2A                     | PARKING SPACE         | 14    |
| Grand total: 406                |                       |       |
| CP LEVEL 2A                     | MOTOR BIKE PARKING    | 6     |
| Grand total: 6                  |                       |       |
| CP LEVEL 1                      | BICYCLE SPACE         | 12    |
| Grand total: 12                 |                       |       |

| EXISTING ZONE D PARKING SPACE SCHEDULE |               |       |
|----------------------------------------|---------------|-------|
| Level                                  | Mark          | Count |
| EXISTING CP LEVEL 1                    | PARKING SPACE | 18    |
| EXISTING CP LEVEL 2                    | PARKING SPACE | 20    |
| EX. Grand total: 38                    |               |       |

CLIENT:

DEE WHY RSL CLUB

PROJECT:

STAGE 5 - CLUB EXTENSION

PHASE 2 WORKS - SOUTHERN CARPARK & ENCLOSURE

ARCHITECT:

**ALTIS**  
architecture

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suite 123 / 26 - 32 pirrama road pyrmont nsw 2009 australia

DRAWING TITLE:

CAR PARK LEVEL 1

NOTES:

Nominated architect: Rofe Latimer - 5535

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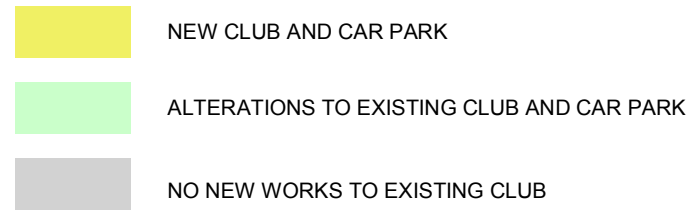
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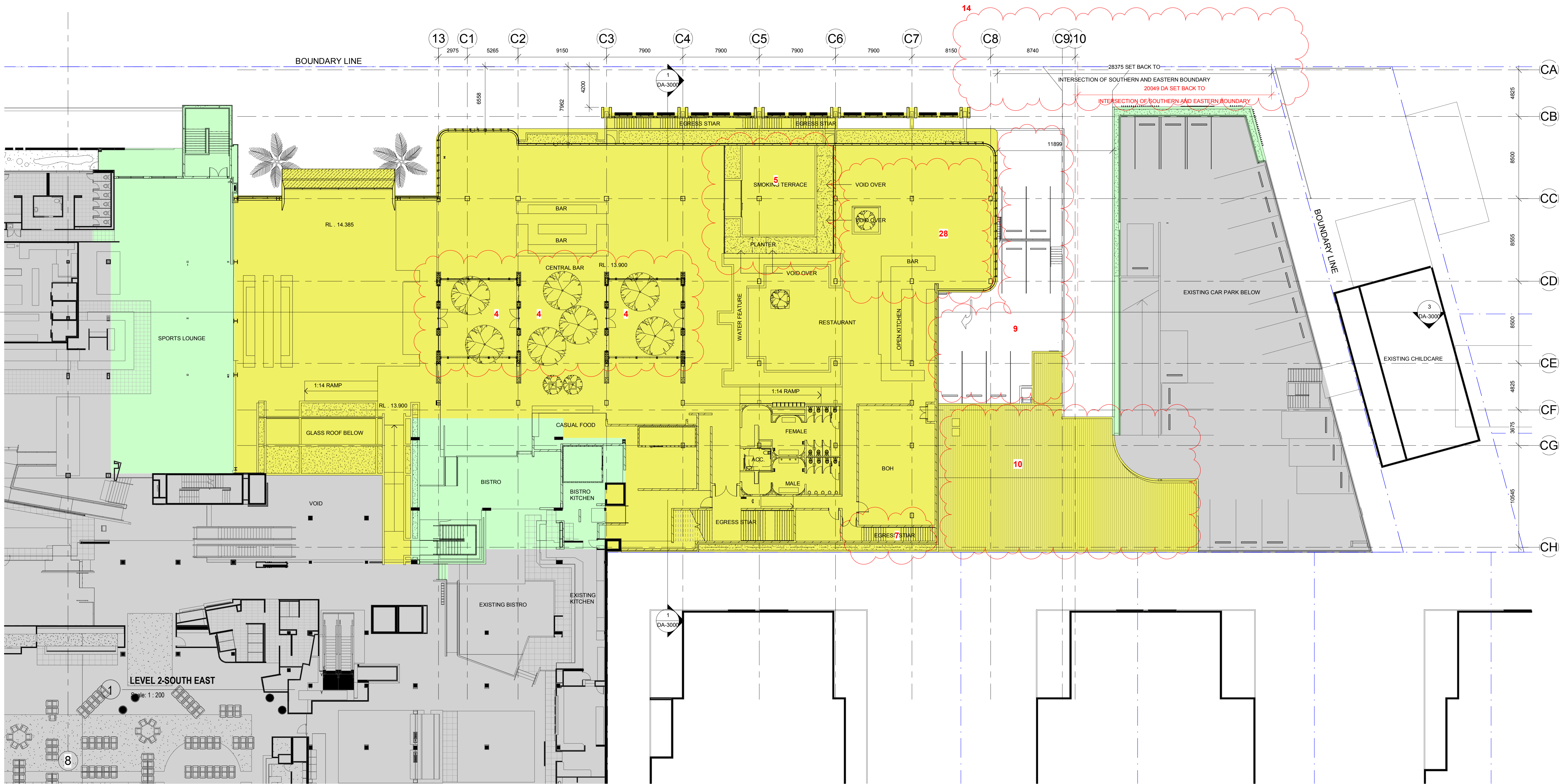
| SCALE:              | DATE:               |
|---------------------|---------------------|
| As indicated @ B1   | MARCH 2018          |
| DRAWN BY: MC        | CHECKED BY: DOC     |
| PROJECT NO: 2341.06 | DRAWING NO: DA-1104 |
| ISSUE: 2            |                     |

SECTION 96

8/3/2018 5:09:12 PM



## SECTION 96



#### CHANGES FOR SECTION 96 APPROVAL

roof

1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL
2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF, REDUCED HEIGHT AND PITCH
5. MODIFIED SMOKING TERRACE: ROOF OPENING, SIZE AND PLANTED AREA, AREA REDUCED BY 21m<sup>2</sup>
6. REDUCED NUMBER OF ROOF SKYLIGHTS ABOVE ASIAN RESTAURANT, 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT
7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION, METAL ROOF NO LONGER REQUIRED
8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION
9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA
10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK

facade

11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS
12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS
13. 2m WIDE INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m WIDE EXTERNAL STAIRS WITH DECORATIVE BALUSTRADES
14. EXTENT OF LEVEL 2 (MAIN TRADING LEVEL) REDUCED BY 838mm FROM THE SOUTHERN BOUNDARY AND INCREASED BY 1100mm TO THE EASTERN BOUNDARY
15. MODIFIED FACADE CURTAIN WALL MULLION BLADES
16. CONCRETE BLADE WALL REDUCED BY 1.47m IN HEIGHT AND 6.2m IN LENGTH
17. VERTICAL FINIS REMOVED FROM BACK WALL (WESTERN FACADE)

ground/landscape/floor plate

18. REVISED LOADING DOCK ENTRANCE AND LOCATION, ENLARGED DEMOLISHED AREA IN THE EXISTING RETAINED SOUTHERN CAR PARK
19. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1, NEW CARPARK LEVEL 1
20. RELOCATED ELECTRICAL SUBSTATION / LANDSCAPED AREA MOVED TO SUIT
21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY/ EXIT IS LESS THAN 8M AS PER DA CONDITION 23
22. RELOCATED STORMWATER OVERFLOW PATH
23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED, BASEMENT REDUCED BY 14394mm FROM THE WEST BOUNDARY, BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY, CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS, DEPTH OF CAR PARK INCREASED FROM RL -3.600 TO RL -5.700, OVERALL PARKING SPACES REDUCED FROM 687 TO 680
24. BASEMENT CAR PARK LEVEL -5 ADDED
25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm
26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
27. LOCATION OF AIR INTAKE MODIFIED
28. EXTENT OF RESTAURANT REDUCED BY 136m<sup>2</sup>
29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED
30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK
31. SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

- NEW CLUB AND CAR PARK
- ALTERATIONS TO EXISTING CLUB AND CAR PARK
- NO NEW WORKS TO EXISTING CLUB

CLIENT:  
DEE WHY RSL CLUB

PROJECT:  
STAGE 5 - CLUB EXTENSION  
PHASE 2 WORKS - SOUTHERN  
CARPARK & ENCLOSURE

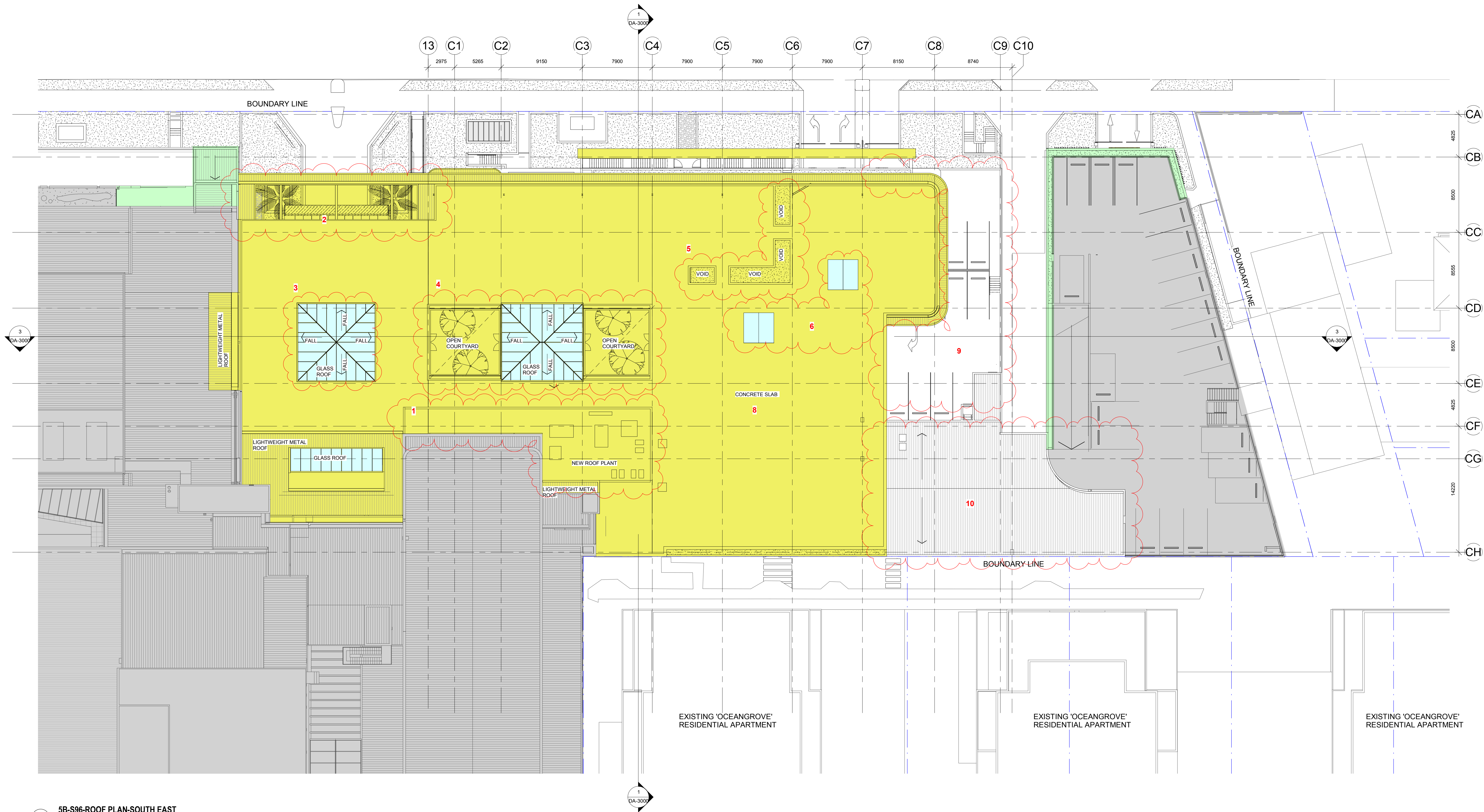
ARCHITECT:  
**ALTIS**  
architecture  
p 61 2 9364 9000 f 61 2 9571 7930 lower deck jones bay wharf  
suite 123 / 26 - 32 pirrama road pyrmont nsw 2009 australia

DRAWING TITLE:  
PROPOSED LEVEL 2 SOUTH EAST  
LEVEL 3 AND LEVEL 4

NOTES:  
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DRAWN BY: Author  
CHECKED BY: Checker 2341.06  
PROJECT NO: DA-1106  
DATE: MARCH 2018  
ISSUE: 2

SECTION 96



5B-S96-ROOF PLAN-SOUTH EAST  
Scale: 1 : 200

| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 05.03.2018 | ISSUED FOR SECTION 96              |

CHANGES FOR SECTION 96 APPROVAL

1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL
2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF, REDUCED HEIGHT AND PITCH
5. MODIFIED SMOKING TERRACE: ROOF OPENING, SIZE AND PLANTED AREA, AREA REDUCED BY 21m<sup>2</sup>
6. REDUCED NUMBER OF ROOF SKYLIGHTS ABOVE ASIAN RESTAURANT: 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT
7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION, METAL ROOF NO LONGER REQUIRED
8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION
9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA
10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK
11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS
12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS
13. 2m WIDE INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m WIDE EXTERNAL STAIRS WITH DECORATIVE BALUSTRADES
14. EXTENT OF LEVEL 2 (MAIN TRADING LEVEL) REDUCED BY 8326mm FROM THE SOUTHERN BOUNDARY AND INCREASED BY 1100mm TO THE EASTERN BOUNDARY
15. MODIFIED FACADE CURTAIN WALL MULLION BLADES
16. CONCRETE BLADE WALL REDUCED BY 1.47m IN HEIGHT AND 6.2m IN LENGTH
17. VERTICAL FINS REMOVED FROM BACK WALL (WESTERN FACADE)

- ground/landscape/floor plate
18. REVISED LOADING DOCK ENTRANCE AND LOCATION/ ENLARGED DEMOLISHED AREA IN THE EXISTING RETAINED SOUTHERN CAR PARK
  19. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1. NEW CARPARK LEVEL 1.
  20. RELOCATED ELECTRICAL SUBSTATION / LANDSCAPED AREA MOVED TO SUIT
  21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY/ EXIT IS LESS THAN 8M AS PER DA CONDITION 23
  22. RELOCATED STORMWATER OVERFLOW PATH
  23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED. BASEMENT REDUCED BY 14394mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL -3.800 TO RL -5.700. OVERALL PARKING SPACES REDUCED FROM 987 TO 680
  24. BASEMENT CAR PARK LEVEL -5 ADDED.
  25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm
  26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
  27. LOCATION OF AIR INTAKE MODIFIED
  28. EXTENT OF RESTAURANT REDUCED BY 136m<sup>2</sup>
  29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED
  30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK
  31. SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

- NEW CLUB AND CAR PARK
- ALTERATIONS TO EXISTING CLUB AND CAR PARK
- NO NEW WORKS TO EXISTING CLUB

CLIENT:  
DEE WHY RSL CLUB

PROJECT:  
STAGE 5 - CLUB EXTENSION  
PHASE 2 WORKS - SOUTHERN  
CARPARK & ENCLOSURE

ARCHITECT:  
**ALTIS**  
architecture  
p 61 2 9364 9000 f 61 2 9571 7930 lower deck jones bay wharf  
suite 123 / 26 - 32 pirrama road pyrmont nsw 2009 australia

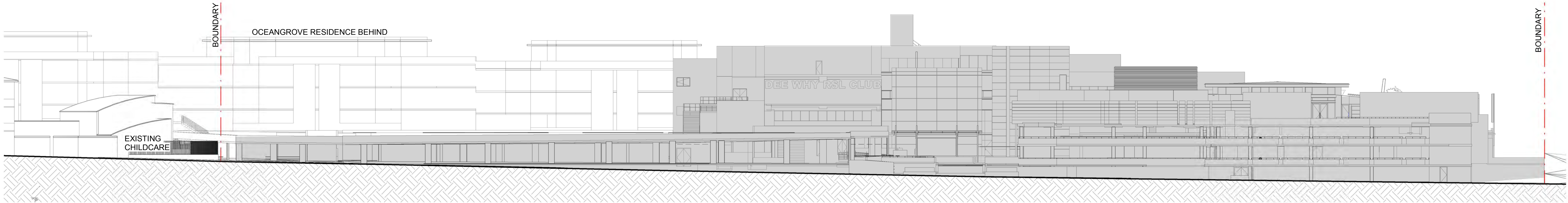
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PROPOSED ROOF PLAN

NOTES:  
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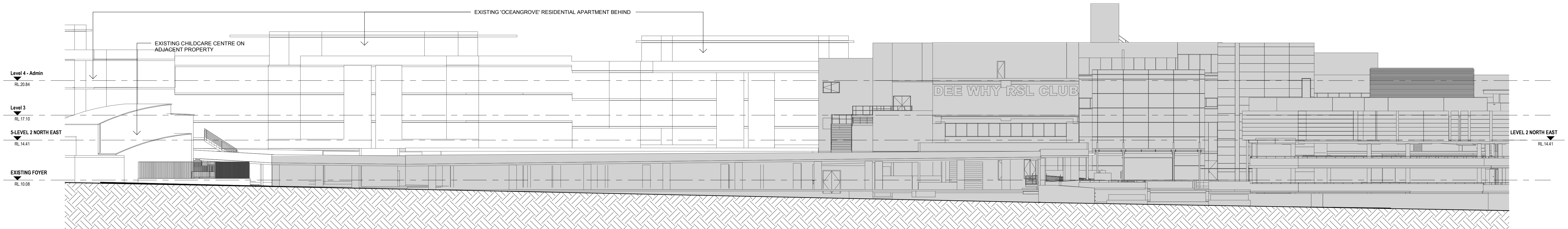
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CHECKED BY: Checker  
PROJECT NO: 2341.06  
CAD FILE:

DATE: MARCH 2018  
ISSUE: 2  
DRAWING NO: DA-1108

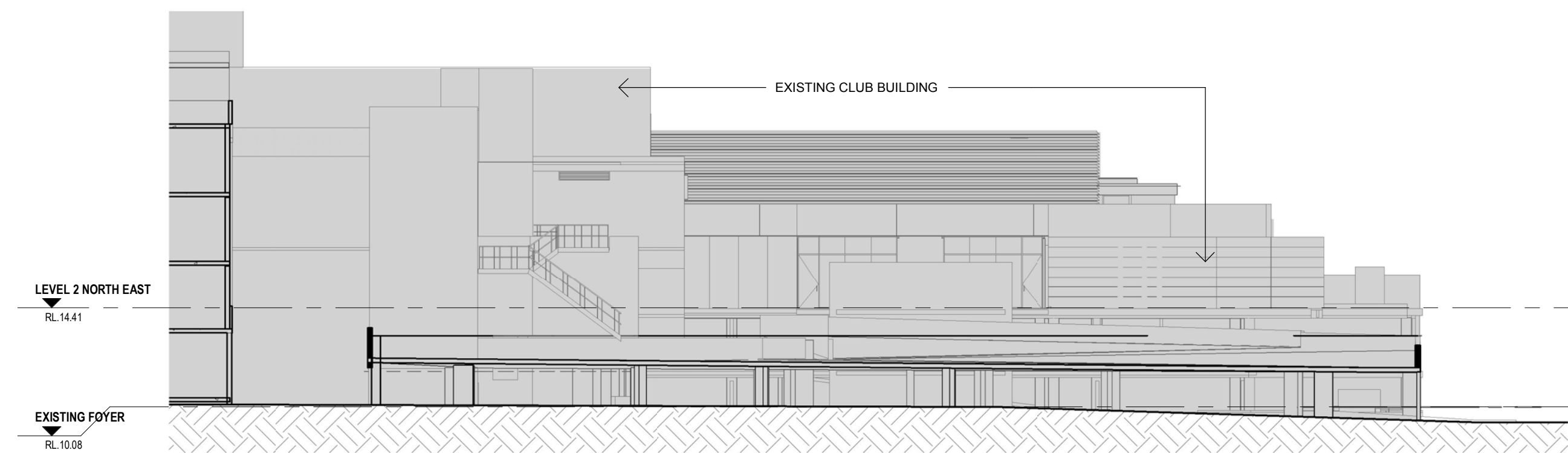
SECTION 96



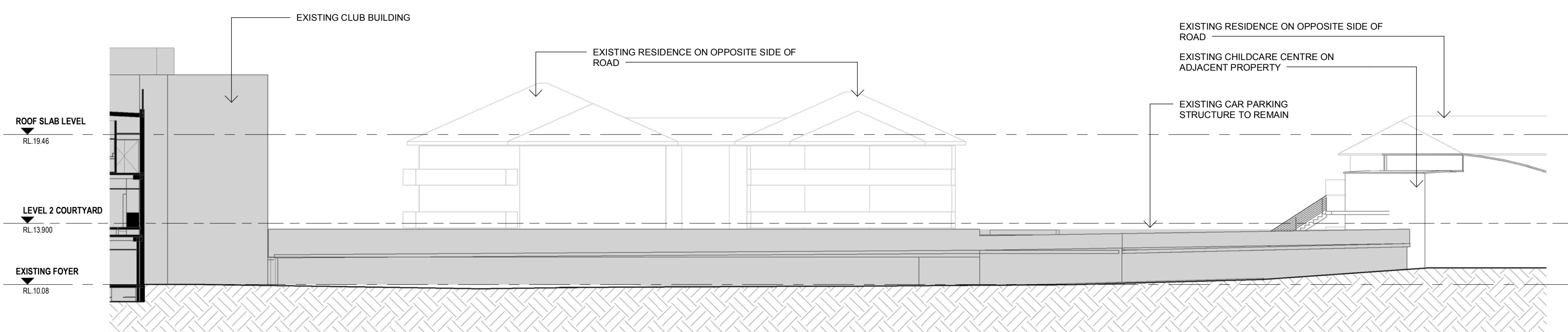
4 EX-EAST ELEVATION (Overall)  
Scale: 1 : 250



1 EX-EAST ELEVATION  
Scale: 1 : 200



2 EX-SOUTH ELEVATION  
Scale: 1 : 200



3 EX-WEST ELEVATION  
Scale: 1 : 200

SECTION 96

| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 02.03.2018 | PRELIMINARY SECTION 96             |

CLIENT:  
DEE WHY RSL CLUB

PROJECT:  
STAGE 5 - CLUB EXTENSION

ARCHITECT:  
**ALTIS**  
architecture

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suite 123 / 26 - 32 pirrama road pymont nsw 2009 australia

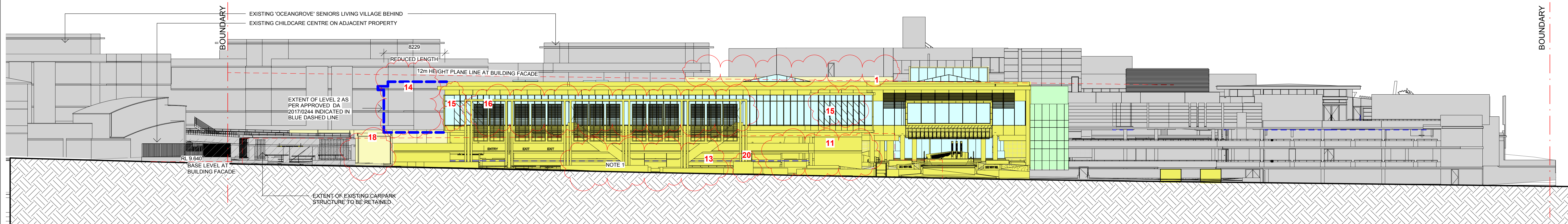
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EXISTING ELEVATIONS

NOTES:  
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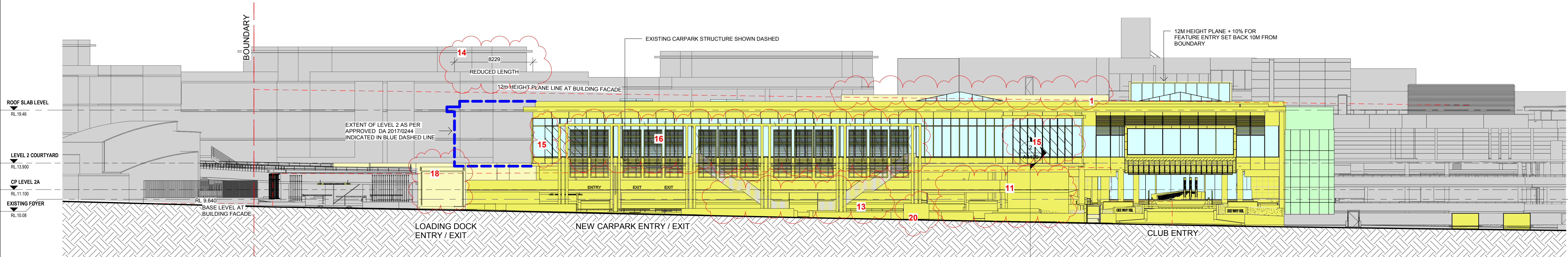
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CHECKED BY: DOC  
PROJECT NO: 2341.06  
CAD FILE:

NORTH:  
DATE: MARCH 2018  
DRAWING NO: DA-2000  
ISSUE: 2

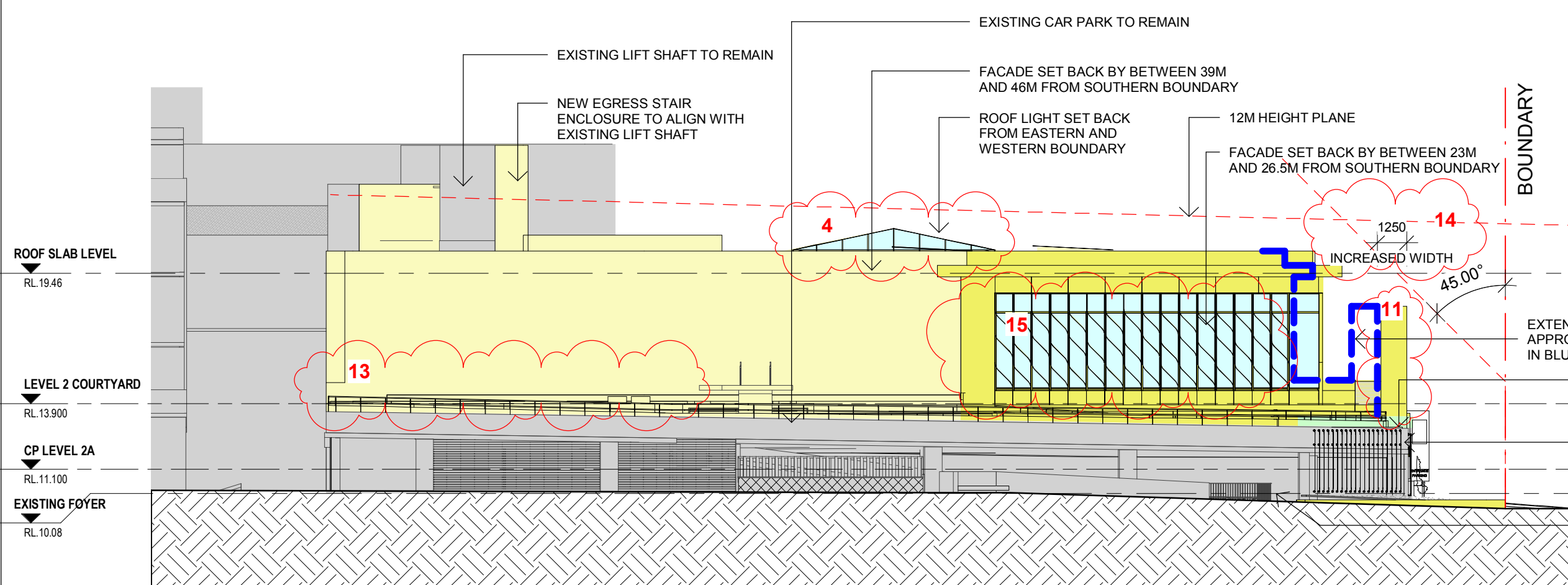
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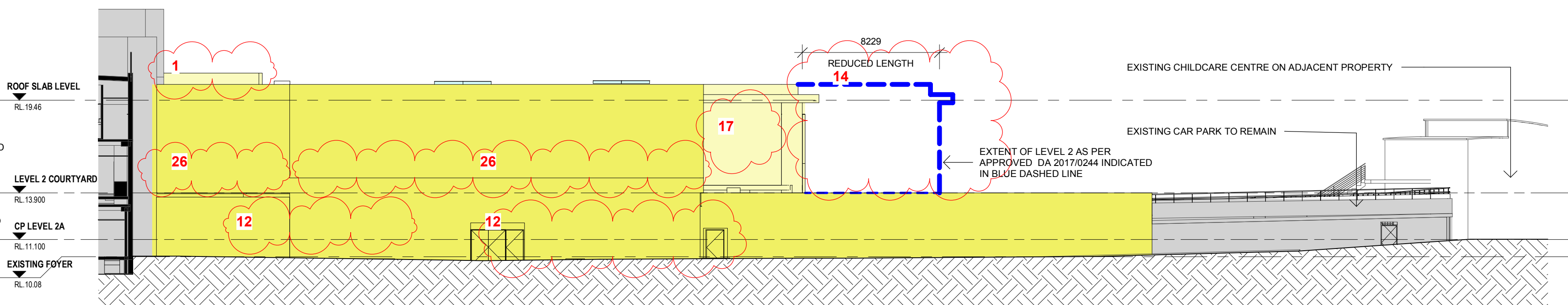
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2 5B-S96-EAST ELEVATION  
Scale: 1 : 200



3 PROPOSED SOUTH ELEVATION  
Scale: 1 : 200



4 PROPOSED WEST ELEVATION  
Scale: 1 : 200

| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 05.03.2018 | ISSUED FOR SECTION 96              |

- CHANGES FOR SECTION 96 APPROVAL
- roof
1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL
  2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
  3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
  4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF. REDUCED HEIGHT AND PITCH
  5. MODIFIED SMOKING TERRACE: ROOF OPENING, SIZE AND PLANTED AREA. AREA REDUCED BY 21m<sup>2</sup>
  6. REDUCED NUMBER OF ROOF SKYLIGHTS ABOVE ASIAN RESTAURANT: 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT
  7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION, METAL ROOF NO LONGER REQUIRED
  8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION
  9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA
  10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK
- facade
11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS
  12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS
  13. 2m WIDE INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m WIDE EXTERNAL STAIRS WITH DECORATIVE BALUSTRADES
  14. EXTENT OF LEVEL 2 (MAIN TRADING LEVEL) REDUCED BY 8320mm FROM THE SOUTHERN BOUNDARY AND INCREASED BY 1100mm TO THE EASTERN BOUNDARY
  15. MODIFIED FACADE CURTAIN WALL MULLION BLADES
  16. CONCRETE BLADE WALL REDUCED BY 1.47m IN HEIGHT AND 6.2m IN LENGTH
  17. VERTICAL FINIS REMOVED FROM BACK WALL (WESTERN FACADE)
- ground/landscape/floor plate
18. REVISED LOADING DOCK ENTRANCE AND LOCATION/ ENLARGED DEMOLISHED AREA IN THE EXISTING RETAINED SOUTHERN CAR PARK
  19. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1. NEW CARPARK LEVEL 1.
  20. RELOCATED ELECTRICAL SUBSTATION / LANDSCAPED AREA MOVED TO SUIT
  21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY/ EXIT IS LESS THAN 8M AS PER DA CONDITION 23
  22. RELOCATED STORMWATER OVERFLOW PATH
  23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED. BASEMENT REDUCED BY 14394mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL - 3.600 TO RL -5.700. OVERALL PARKING SPACES REDUCED FROM 687 TO 680
  24. BASEMENT CAR PARK LEVEL -5 ADDED.
  25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm
  26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
  27. LOCATION OF AIR INTAKE MODIFIED
  28. EXTENT OF RESTAURANT REDUCED BY 136m<sup>2</sup>
  29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED
  30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK
  31. SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

- NEW CLUB AND CAR PARK
- ALTERATIONS TO EXISTING CLUB AND CAR PARK
- NO NEW WORKS TO EXISTING CLUB

NOTE 1: LANDSCAPING. REFER TO LANDSCAPE ARCHITECTS DOCUMENTS AND PERSPECTIVE VIEWS WHERE APPROPRIATE

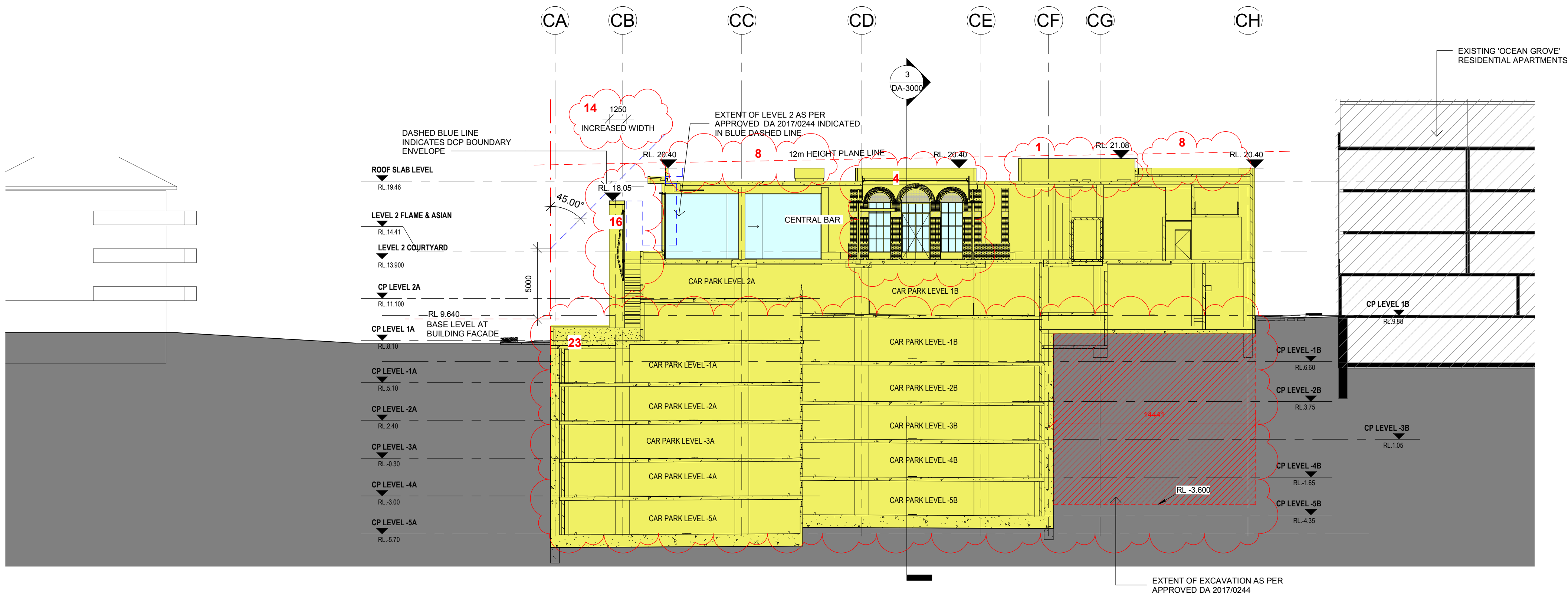
CLIENT:  
**DEE WHY RSL CLUB**

PROJECT:  
**STAGE 5 - CLUB EXTENSION  
PHASE 2 WORKS - SOUTHERN  
CARPARK & ENCLOSURE**

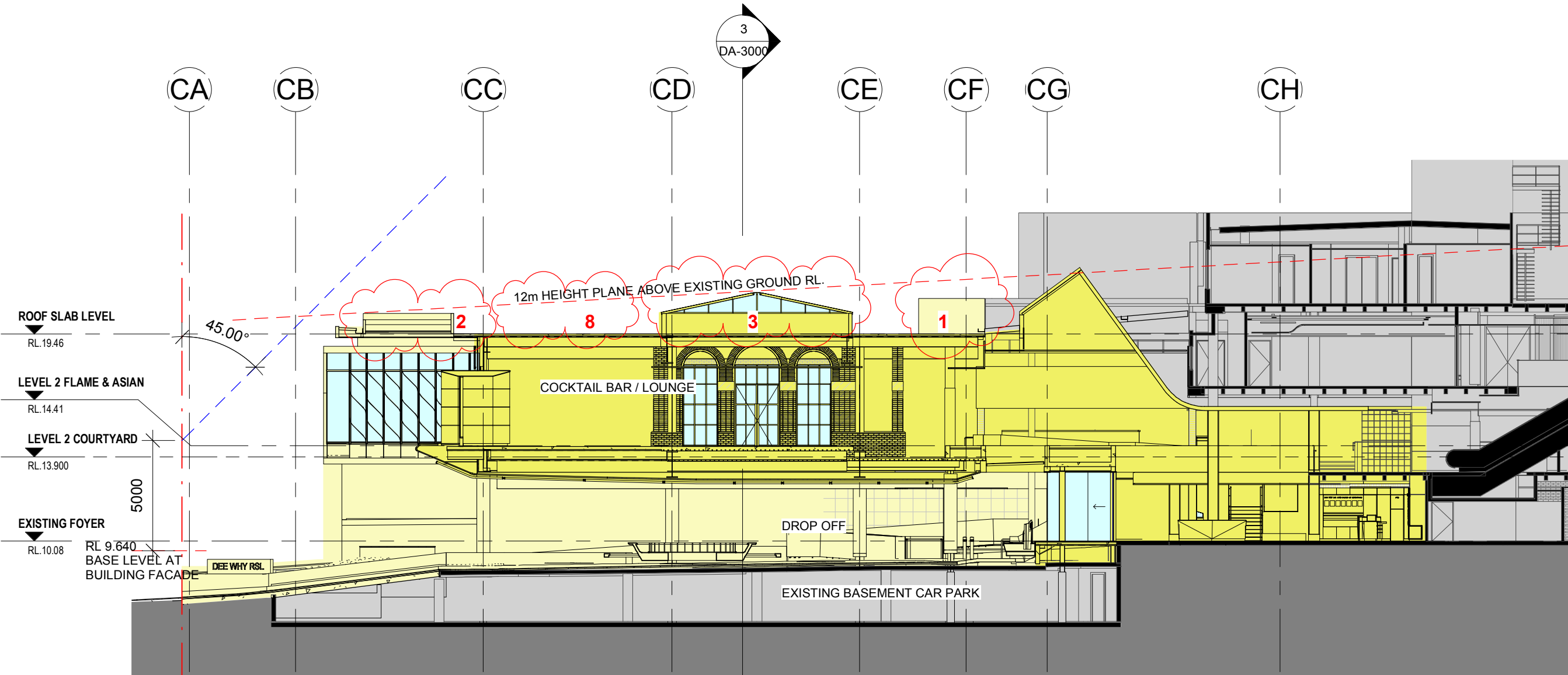
ARCHITECT:  
**ALTIS  
architecture**  
p 61 2 9364 9000 f 61 2 9571 7930 lower deck jones bay wharf  
suite 123 / 26 - 32 pirrama road pyrmont nsw 2009 australia

DRAWING TITLE:  
**PROPOSED ELEVATIONS**

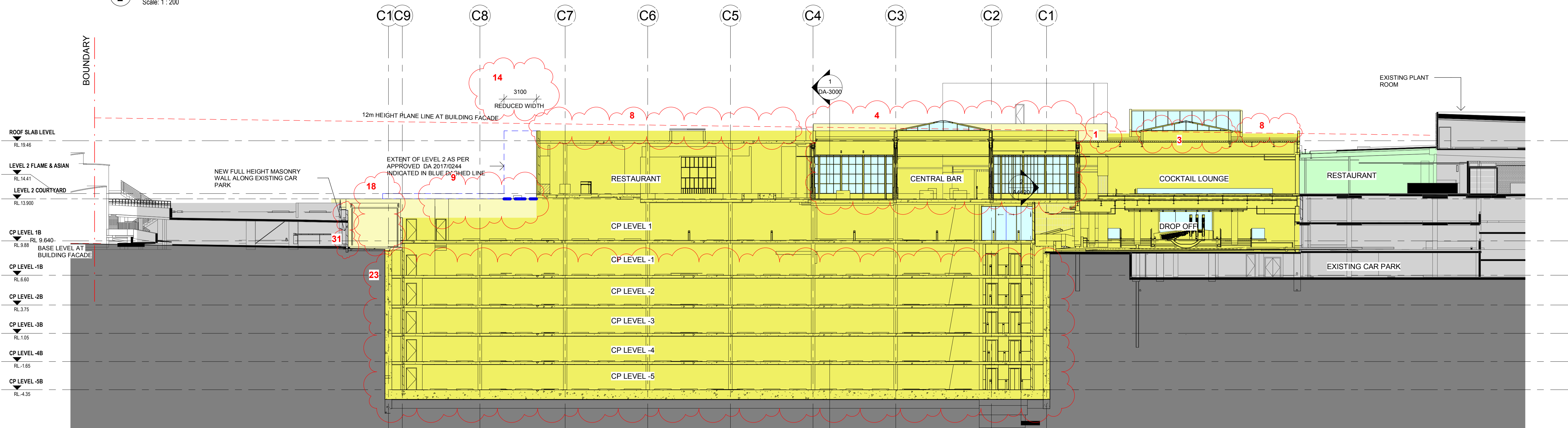
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|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------|------------------------|------------------------|-------------|
| NOTES:<br>Nominated architect: Rofe Lattimer - 5535<br>Copyright remains the property of Altis Architecture Pty Ltd.<br>Use only figured dimensions.<br>All discrepancies to be referred to Altis Architecture Pty Ltd prior to construction.<br>Ensure compliance with the Building Code of Australia and all relevant Australian Standards and Authority requirements. |                    |                        | NORTH:                 |             |
| SCALE:<br>As indicated                                                                                                                                                                                                                                                                                                                                                   | @ B1               | DATE:<br>MARCH 2018    |                        |             |
| DRAWN BY:<br>MC                                                                                                                                                                                                                                                                                                                                                          | CHECKED BY:<br>DOC | PROJECT NO:<br>2341.06 | DRAWING NO:<br>DA-2100 | ISSUE:<br>2 |
| CAD FILE:                                                                                                                                                                                                                                                                                                                                                                |                    |                        |                        |             |



1 SECTION 06  
Scale: 1 : 200



2 SECTION  
Scale: 1 : 200



3 SECTION  
Scale: 1 : 200

| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 05.03.2018 | ISSUED FOR SECTION 96              |

- CHANGES FOR SECTION 96 APPROVAL
1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL
  2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
  3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
  4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF. REDUCED HEIGHT AND PITCH
  5. MODIFIED SMOKING TERRACE: ROOF OPENING, SIZE AND PLANTED AREA. AREA REDUCED BY 21m<sup>2</sup>
  6. REDUCED NUMBER OF ROOF SKYLIGHTS ABOVE ASIAN RESTAURANT: 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT
  7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION, METAL ROOF NO LONGER REQUIRED
  8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION
  9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA
  10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK
  11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS
  12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS
  13. 2m WIDE INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m WIDE EXTERNAL STAIRS WITH DECORATIVE BALUSTRADES
  14. EXTENT OF LEVEL 2 (MAIN TRADING LEVEL) REDUCED BY 8326mm FROM THE SOUTHERN BOUNDARY AND INCREASED BY 1100mm TO THE EASTERN BOUNDARY
  15. MODIFIED FACADE CURTAIN WALL MULLION BLADES
  16. CONCRETE BLADE WALL REDUCED BY 1.47m IN HEIGHT AND 6.2m IN LENGTH
  17. VERTICAL FINIS REMOVED FROM BACK WALL (WESTERN FACADE)

- ground/landscape/floor plate
18. REVISED LOADING DOCK ENTRANCE AND LOCATION/ ENLARGED DEMOLISHED AREA IN THE EXISTING RETAINED SOUTHERN CAR PARK
  19. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1. NEW CARPARK LEVEL 1.
  20. RELOCATED ELECTRICAL SUBSTATION / LANDSCAPED AREA MOVED TO SUIT
  21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY/ EXIT IS LESS THAN 8M AS PER DA CONDITION 23
  22. RELOCATED STORMWATER OVERFLOW PATH
  23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED. BASEMENT REDUCED BY 14394mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL -3.600 TO RL -5.700. OVERALL PARKING SPACES REDUCED FROM 687 TO 680
  24. BASEMENT CAR PARK LEVEL -5 ADDED.
  25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm
  26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
  27. LOCATION OF AIR INTAKE MODIFIED
  28. EXTENT OF RESTAURANT REDUCED BY 136m<sup>2</sup>
  29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED
  30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK
  31. FULL HEIGHT SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

- NEW CLUB AND CAR PARK
- ALTERATIONS TO EXISTING CLUB AND CAR PARK
- NO NEW WORKS TO EXISTING CLUB

CLIENT:  
DEE WHY RSL CLUB

PROJECT:  
STAGE 5 - CLUB EXTENSION  
PHASE 2 WORKS - SOUTHERN  
CARPARK & ENCLOSURE

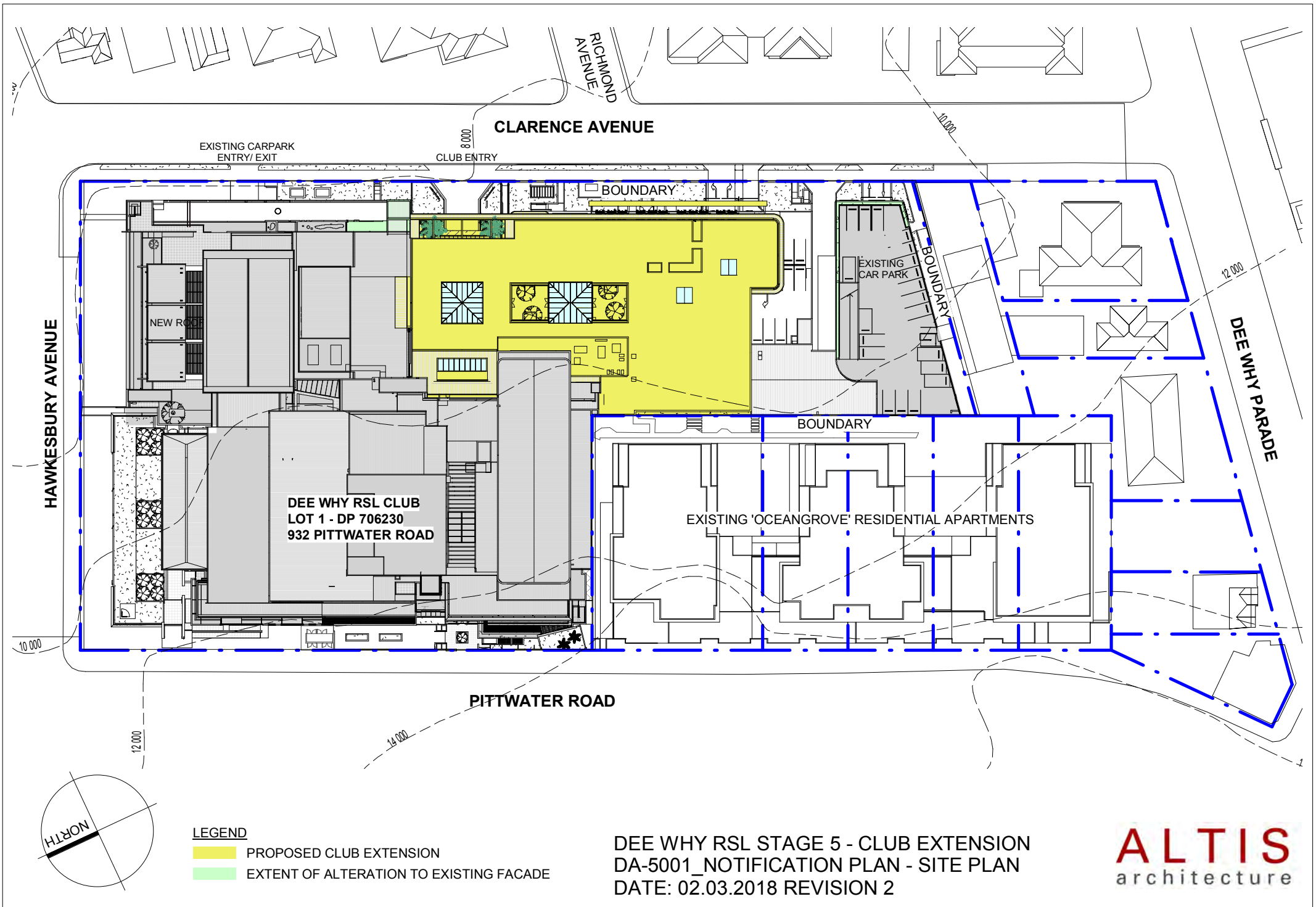
ARCHITECT:  
**ALTIS**  
architecture  
p 61 2 9364 9000 f 61 2 9571 7930 lower deck jones bay wharf  
suite 123 / 26 - 32 pirrama road pyrmont nsw 2009 australia

DRAWING TITLE:  
PROPOSED SECTIONS

NOTES:  
Nominated architect: Rofe Latimer - 5535  
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| SCALE:              | DATE:               |
|---------------------|---------------------|
| As indicated @ B1   | MARCH 2018          |
| DRAWN BY: MC        | CHECKED BY: DOC     |
| PROJECT NO: 2341.06 | DRAWING NO: DA-3000 |
| CAD FILE:           | ISSUE: 2            |

SECTION 96

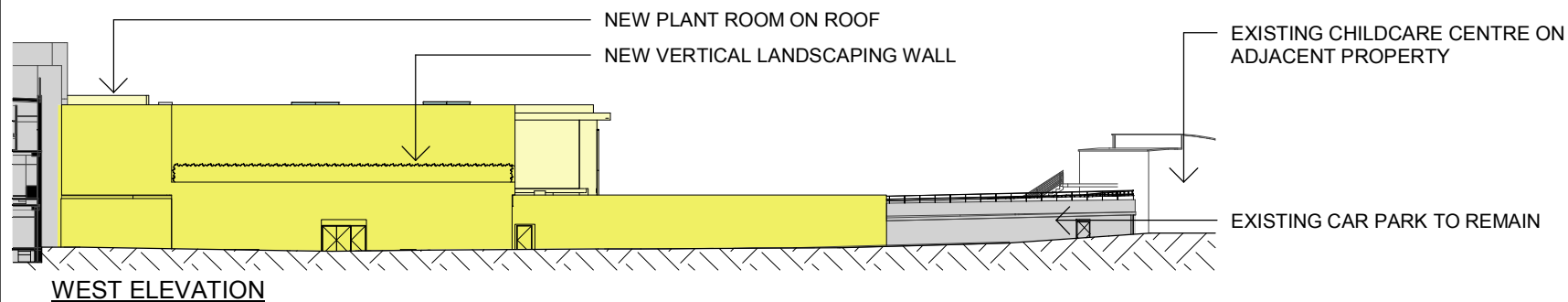
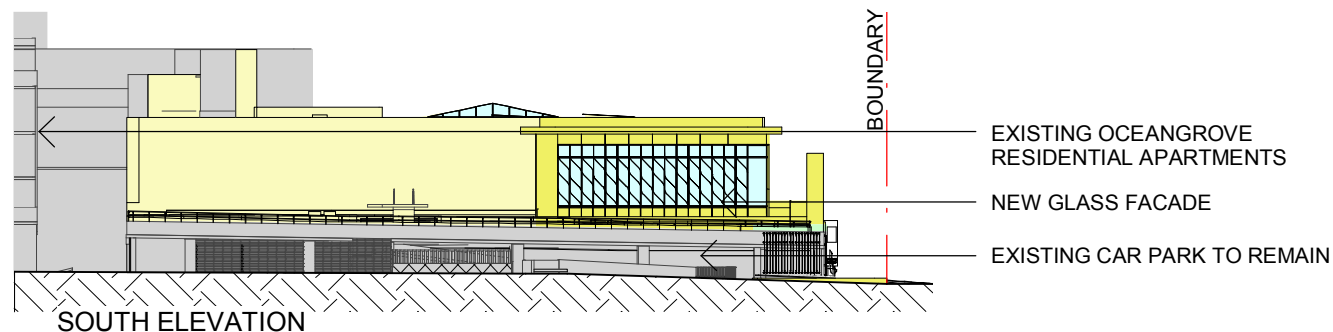
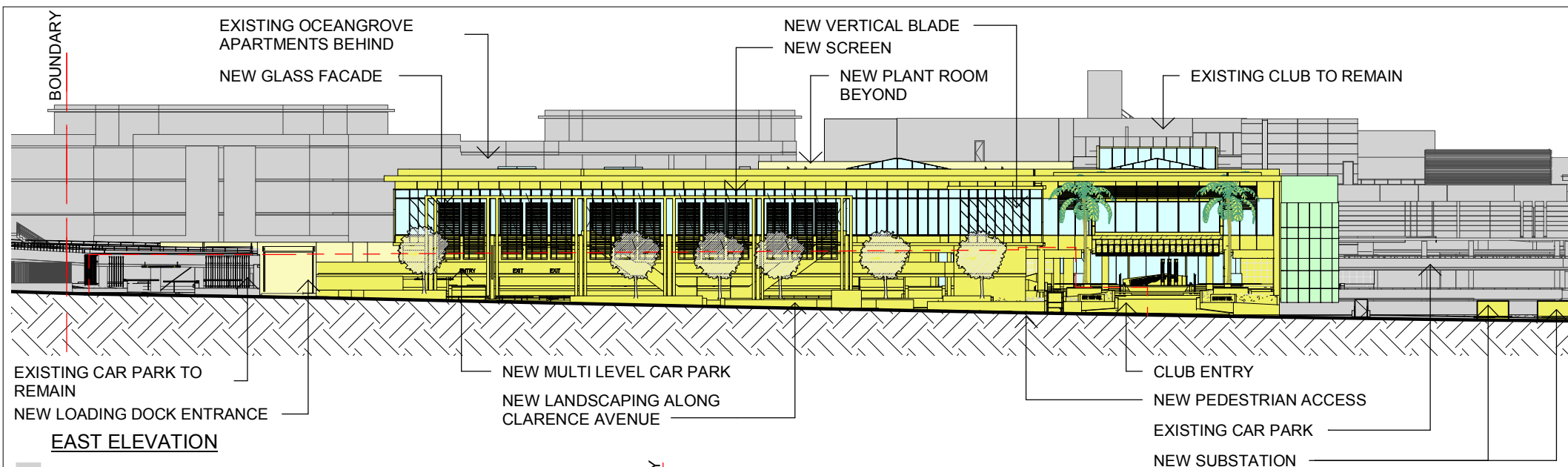


**LEGEND**

- PROPOSED CLUB EXTENSION
- EXTENT OF ALTERATION TO EXISTING FACADE

DEE WHY RSL STAGE 5 - CLUB EXTENSION  
DA-5001\_NOTIFICATION PLAN - SITE PLAN  
DATE: 02.03.2018 REVISION 2

**ALTIS**  
architecture

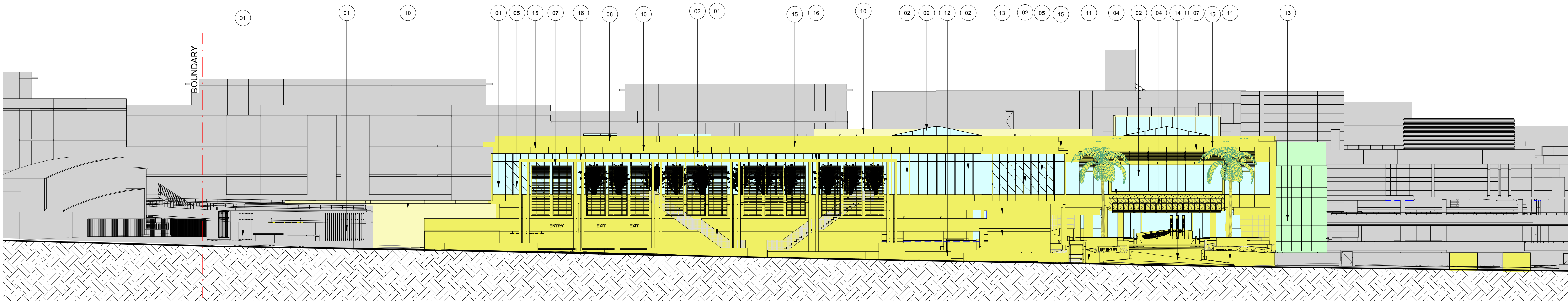


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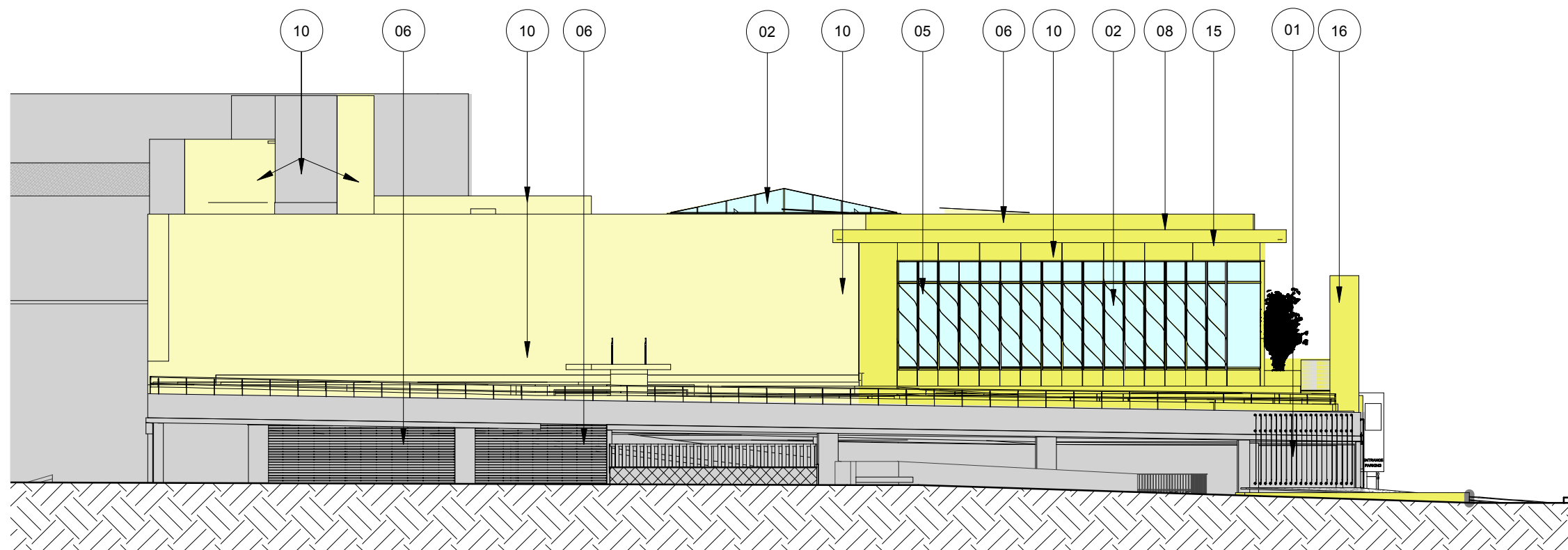
- PROPOSED CLUB EXTENSION
- PROPOSED CLUB EXTENSION (SET BACK FROM BOUNDARY)
- EXTENT OF ALTERATION TO EXISTING FACADE
- NEW GLASS FACADE

DEE WHY RSL STAGE 5 - CLUB EXTENSION  
 DA-5001\_NOTIFICATION PLAN - SITE PLAN  
 DATE: 02.03.2018 REVISION 2

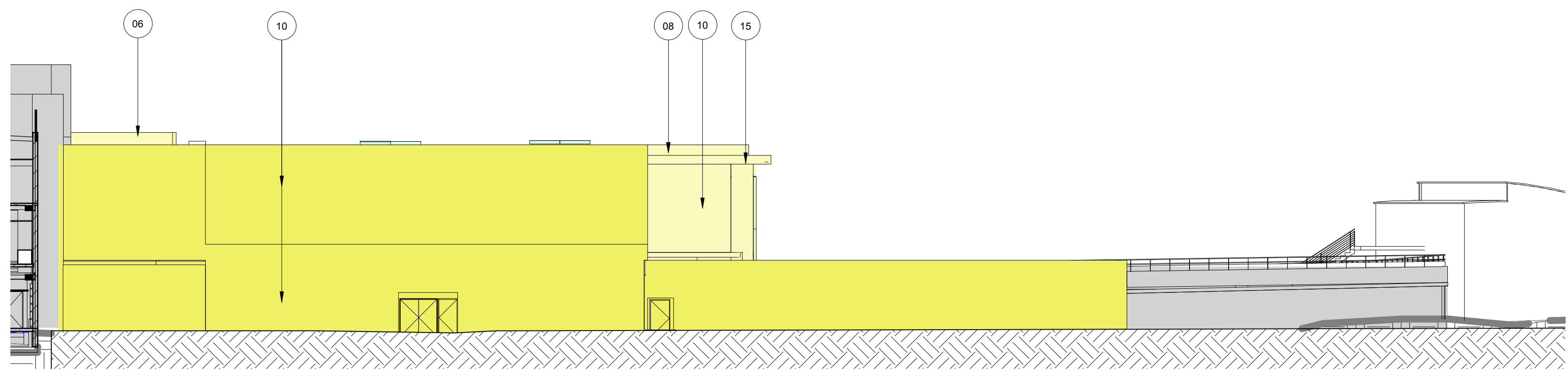
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 architecture



1 EAST ELEVATION  
Scale: 1 : 200



2 SOUTH ELEVATION  
Scale: 1 : 200



3 WEST ELEVATION  
Scale: 1 : 200

| ISSUE | DATE       | DESCRIPTION                        |
|-------|------------|------------------------------------|
| 1     | 17.03.2017 | ISSUED FOR DEVELOPMENT APPLICATION |
| 2     | 02.03.2018 | PRELIMINARY SECTION 96             |

CHANGES FOR SECTION 96 APPROVAL

- roof
1. RELOCATED OPEN PLANTROOM AT THE ROOF LEVEL
  2. MODIFIED ROOF OPENING ABOVE MAIN ENTRANCE
  3. MODIFIED CENTRAL SKYLIGHT (REDUCED HEIGHT, MODIFIED PITCH)
  4. MODIFIED COURTYARD: TWO OPEN COURTYARDS AND ONE SKYLIGHT COVERED AREA INSTEAD OF ONE LARGE GLASS ROOF. REDUCED HEIGHT AND PITCH
  5. MODIFIED SMOKING TERRACE: ROOF OPENING, SIZE AND PLANTED AREA. AREA REDUCED BY 33m<sup>2</sup>
  6. REDUCED NUMBER OF ROOF SKYLIGHTS ABOVE ASIAN RESTAURANT. 2 INSTEAD OF 6 TO SUIT THE NEW INTERNAL LAYOUT
  7. MODIFIED EXIT STAIR: POSITION, CONFIGURATION, METAL ROOF NO LONGER REQUIRED
  8. CONCRETE ROOF INSTEAD OF METAL DECK ROOF FOR THE MAJORITY OF THE BUILDING EXTENSION
  9. NO SLAB ABOVE THE EXPOSED CAR PARK LEVEL 2 IN THE SOUTH AREA
  10. NEW ACOUSTIC METAL ROOF ABOVE REVISED LOADING DOCK

- facade
11. MODIFIED FACADE APPEARANCE DUE TO CHANGES IN THE CAR PARK LEVELS, LOADING DOCK AND EGRESS STAIRS
  12. REMOVED LOUVRES ON THE BACK FACADE (WESTERN FACADE) DUE TO MECHANICAL RISER NO LONGER REQUIRED / REVISED LOCATION FOR EGRESS DOORS
  13. 2m WIDE INTERNAL EGRESS STAIR MODIFIED INTO TWO 1m WIDE EXTERNAL STAIRS WITH DECORATIVE BALUSTRADES
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  15. MODIFIED FACADE CURTAIN WALL MULLION BLADES
  16. CONCRETE BLADE WALL REDUCED BY 1.47m IN HEIGHT AND 6.2m IN LENGTH
  17. VERTICAL FINS REMOVED FROM BACK WALL (WESTERN FACADE)

- ground/landscape/floor plate
18. REVISED LOADING DOCK ENTRANCE AND LOCATION/ ENLARGED DEMOLISHED AREA IN THE EXISTING RETAINED SOUTHERN CAR PARK
  19. NEW / MODIFIED EGRESS PATHS FROM EXISTING CARPARK LEVEL -1. NEW CARPARK LEVEL 1.
  20. RELOCATED ELECTRICAL SUBSTATION / LANDSCAPED AREA MOVED TO SUIT
  21. MEDIAN STRIP ADDED AT ENTRY TO PROVIDE PLACE OF REFUGE AND ENSURE WIDTH OF ENTRY/ EXIT IS LESS THAN 8M AS PER DA CONDITION 23
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  23. EXTENT OF BASEMENT CAR PARK LEVELS REDUCED. BASEMENT REDUCED BY 14394mm FROM THE WEST BOUNDARY. BASEMENT ENLARGED BY 280mm TOWARDS THE SOUTH BOUNDARY. CARPARK CHANGED FROM FLAT PLATE TO SPLIT LEVEL ON ALL LEVELS. DEPTH OF CAR PARK INCREASED FROM RL - 3.600 TO RL - 5.700. OVERALL PARKING SPACES REDUCED FROM 687 TO 680
  24. BASEMENT CAR PARK LEVEL -5 ADDED.
  25. CAR PARK ENTRY / EXIT MOVED TOWARD NORTH BY 3044mm
  26. PLANTER MODIFIED ON THE BACK (WESTERN) FACADE DUE TO REDUCTION OF THE MAIN TRADING FLOOR SLAB
  27. LOCATION OF AIR INTAKE MODIFIED
  28. EXTENT OF RESTAURANT REDUCED BY 135m<sup>2</sup>
  29. CLUB ENTRANCE ACCESSIBLE RAMPS MODIFIED
  30. ONE ADDITIONAL EXISTING CAR PARK SPACE TO BE REMOVED FROM EXISTING NORTHERN CAR PARK.
  31. SOLID MASONRY WALL ADDED BETWEEN EXISTING ZONE D CAR PARK AND LOADING DOCK ACCESS.

- NEW CLUB AND CAR PARK
- ALTERATIONS TO EXISTING CLUB AND CAR PARK
- NO NEW WORKS TO EXISTING CLUB

CLIENT:

DEE WHY RSL CLUB

PROJECT:  
STAGE 5 - CLUB EXTENSION

ARCHITECT:  
**ALTIS**  
architecture  
p 61 2 9364 9000 f 61 2 9571 7930 lower deck jones bay wharf  
suite 123 / 26 - 32 pirrama road pymont nsw 2009 australia

DRAWING TITLE:  
FINISHES AND MATERIALS  
SCHEDULE

NOTES:  
Nominated architect: Rofe Latimer - 5535  
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SCALE:  
As indicated @ B1  
DRAWN BY: MC  
CHECKED BY: DOC  
PROJECT NO: 2341.06  
CADD FILE:

DATE: MARCH 2018  
ISSUE: 2  
DRAWING NO: DA-9000



1-LOW HEIGHT BALUSTRADE WITH PLANTING



2-PERFORMANCE GLAZING



3-STONE WALL CLADDING



4-COPPER CLADDING  
COLOUR: LIGHT BROWN



5-ALUMINIUM VERTICAL CURVED FINS SCREEN  
COLOUR: TO MATCH COPPER CLADDING



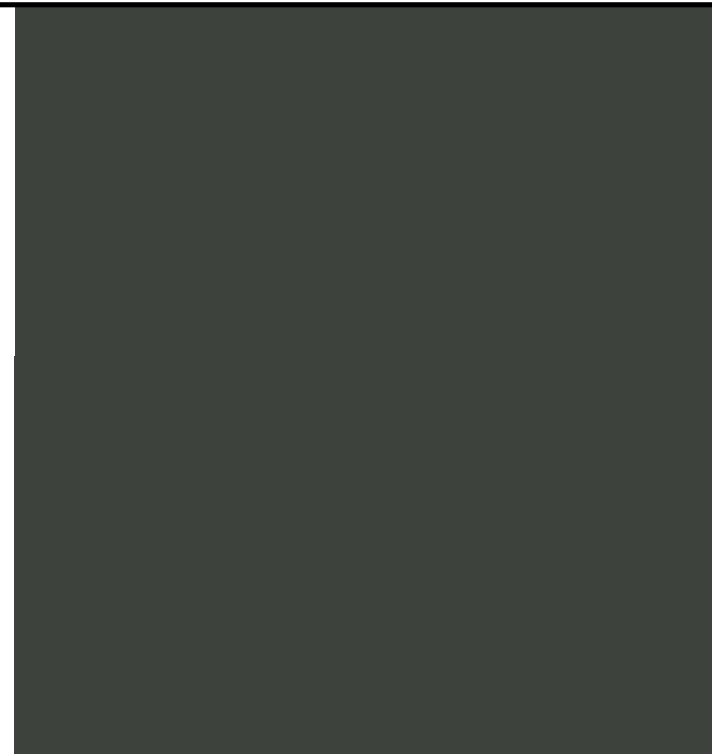
6-PLANT ROOM LOUVERS  
COLOUR: GRAY (TO MATCH EXISTING COLOURS)



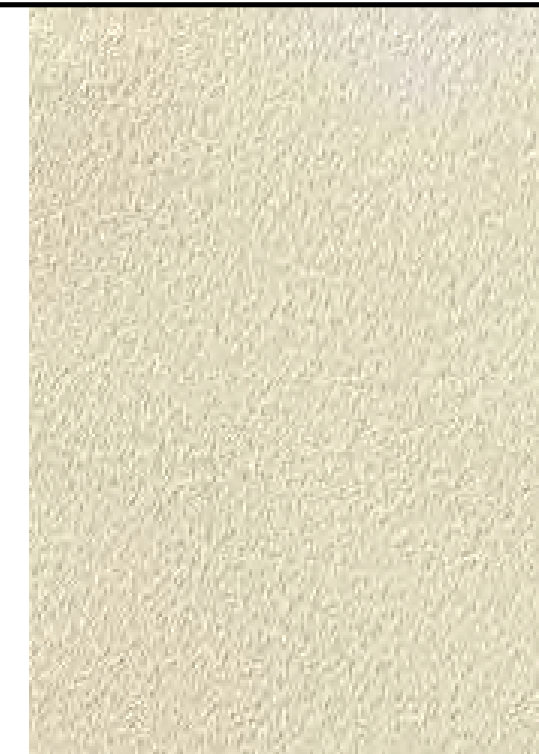
7-HORIZONTAL BATTENS SCREEN.  
COLOUR: TO MATCH COPPER CLADDING



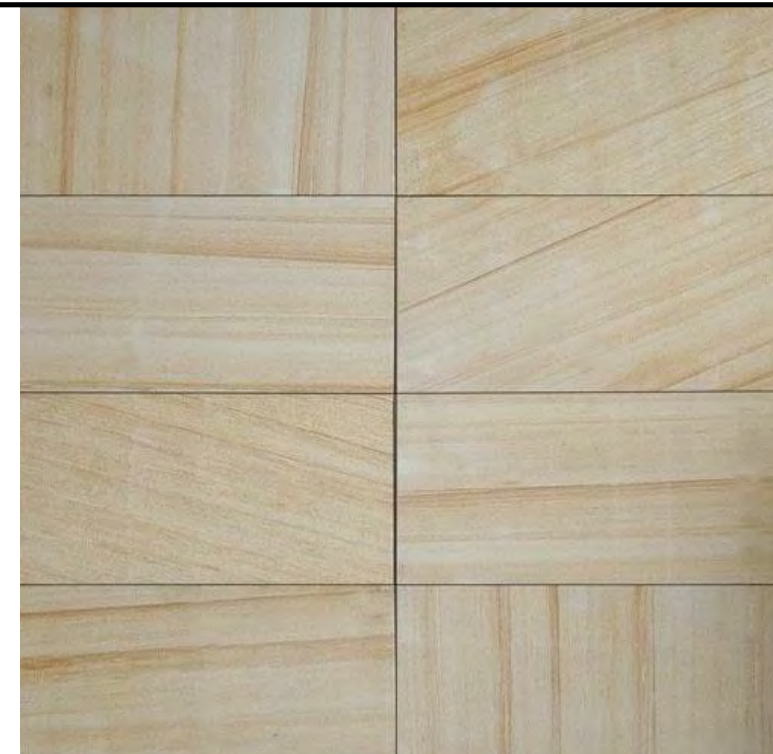
8-ALUMINIUM COMPOSITE CLADDING - ROOF FASCIA  
COLOUR: CREAM WHITE



9-RENDER AND PAINT FINISH  
COLOUR: CHARCOAL



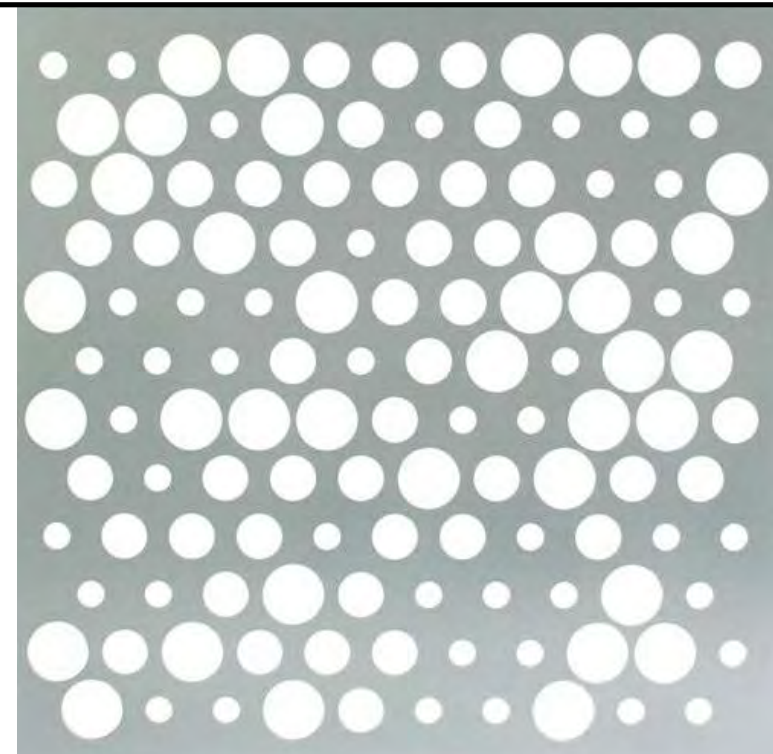
10-PAINT FINISH TO MATCH EXISTING  
BUILDING COLOUR



11-TEXTURED STONE  
SANDSTONE CLADDING



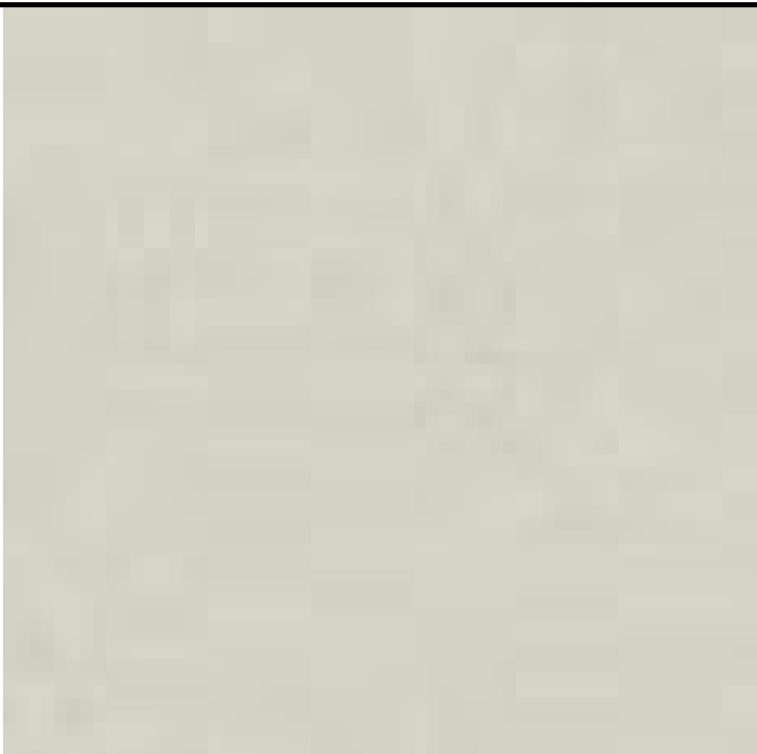
12-PAINT FINISH



13-POWDERCOATED ALUMINIUM  
PERFORATED SCREEN



14-DRIVEWAY STONE



15-PREFINISHED FC PANEL TO ROOF SOFFIT  
COLOUR: WHITE



16-PRECAST CONCRETE BLADES

SECTION 96